



ISSUE DATES AND DESCRIPTIONS	
02/22/2021	PRELIM. PLANNING SUBMITTAL
04/21/2021	PRELIM. PLANNING SUBMITTAL
07/30/2021	PRELIM. PLANNING SUBMITTAL
10/01/2021	1ST FORM. PLANNING SUBMITTAL
12/23/2021	2ND FORM. PLANNING SUBMITTAL
03/29/2022	3RD FORM. PLANNING SUBMITTAL

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Arizona

ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com

2600 East North Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California

7371 Technology Drive, Suite 350
San Jose, CA 95131 408.498.1121

The "ARC" in ARC TEC Inc. is the acronym for architectural rendering. ARC TEC Inc. is a leading 3D architectural rendering, architectural visualization, digital art and animation studio. We are a team of artists and designers who work together to create 3D architectural renderings and animations for architects, interior designers, and construction companies. We are a team of artists and designers who work together to create 3D architectural renderings and animations for architects, interior designers, and construction companies. We are a team of artists and designers who work together to create 3D architectural renderings and animations for architects, interior designers, and construction companies.

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OWNER NAME:	WINDY HILL PROPERTY VENTURES	BUILDING AREA, OFFICE:	268,938 S.F.
PROJECT ADDRESS:	E 3RD AVENUE & S DELAWARE STREET SAN MATEO, CA 94401	TOTAL RESIDENTIAL UNITS:	111 UNITS
		NUMBER OF STORIES:	6
		CONSTRUCTION TYPE:	I-A, I-B
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B, S-2 AND R-2

THIS IS A NEW 268,938 S.F. 6-STORY OFFICE AND RESIDENTIAL BUILDING WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 65,888 S.F. LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE, COMPLETE BUILD OUT OF RESIDENTIAL COMPONENT AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.

2019 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2019 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2019 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2019 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2019 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
2019 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

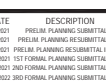
ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

OWNER: WINDY HILL PROPERTY VENTURES
530 Emerson Street, Suite 150
Palo Alto, CA 94301

ARCHITECT: ARC TEC INC.
99 Almaden Boulevard, Suite 840
San Jose, CA 95113
PHONE: 408.696.0676

LANDSCAPE ARCHITECT:	KLA, INC 151 N. Nardin Street Sonoma, CA 95370 PHONE: 209.532.2856 CONTACT: Tom Holloway EMAIL: tom@kncsla.com	CIVIL ENGINEER:	BKF 255 Shoreline Drive, Suite 200 Redwood City, CA 94065 PHONE: 925.396.7726 CONTACT: Alyssa Jacobson, PE EMAIL: alyssajacobson@bkf.com
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SUBJECT NO: 205207

SCALE: NTS

1



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ARC TEC is a leading architectural and interior design firm with over 20 years of experience. We provide a full range of services from conceptual design to construction administration. Our team is composed of highly talented professionals who are passionate about creating exceptional spaces for our clients. We are currently seeking experienced professionals to join our team in our Phoenix and San Jose offices. If you are interested in this opportunity, please email your resume and portfolio to info@arctec.com.

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PEDESTRIAN VIEW AT ENTRY LOBBY

SCALE: NTS

1

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

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10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
02-29-2022	3RD FORMAL PLANNING SUBMITTAL

RENDERINGS

A 0.03

PROJECT NO. 205207



PEDESTRIAN VIEW AT ENTRY LOBBY

SCALE: NTS

1



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ARC TEC is a leader in the architectural technology industry, providing a wide range of services to its clients. The company's expertise is in the design and construction of high-rise buildings, commercial spaces, and residential developments. The company's commitment to innovation and quality has earned it a reputation as a leading firm in the industry.

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RENDERINGS

A 0.04

PROJECT NO. 205207



SCALE: NTS



PEDESTRIAN VIEW- DELAWARE

SCALE: NTS

1



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RENDERINGS

A 0.08

PROJECT NO. 205207



PEDESTRIAN VIEW-4TH AVE

SCALE: NTS

1



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ARC TEC is a leading architectural technology firm, providing a wide range of services to its clients. The firm's expertise includes architectural design, rendering, and construction management. The firm's commitment to excellence is reflected in its high-quality work and its dedication to its clients. The firm's services are provided on a project-by-project basis, and the firm's fees are based on the scope of the project. The firm's contact information is as follows: Arizona: 7902 East Van Ness Boulevard, Building C, Phoenix, AZ 85008, 602.953.2355; California: 17381 Technology Drive, Suite 300, San Jose, CA 95131, 408.496.1121.

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RENDERINGS

A 0.09

PROJECT NO. 205207



PEDESTRIAN VIEW OF
RESIDENTIAL ENTRY ON CLAREMONT

SCALE: NTS

1

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03-29-2022	3RD FORMAL PLANNING SUBMITTAL

RENDERINGS

A 0.011

PROJECT NO. 205207



AERIAL RENDERING FROM 3RD AVENUE AND CLAREMONT

SCALE: NTS

1

A 0.012

PROJECT NO. 205207

RENDERINGS

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 BLOCK 21
 SAN MATEO, CA 94401

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 SAN MATEO, CA 94401

1731 Technology Drive, Suite 500
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AERIAL AT ROOF TOP BALCONY

SCALE: 1/8" = 1'-0"

1



RESIDENTIAL BALCONY

SCALE: NTS



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ARC TEC is a leading architectural and engineering firm with over 20 years of experience in the design and construction of commercial, institutional, and residential projects. The firm's expertise includes architectural design, engineering, and construction management. ARC TEC is a member of the American Institute of Architects (AIA) and the National Society of Professional Engineers (NSPE). The firm is committed to providing high-quality, innovative, and sustainable design solutions for its clients.

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RENDERINGS

A 0.014

PROJECT NO. 205207



REFERENCE SITE PLAN

SCALE: NTS



11 COMMERCIAL



9 RESTAURANTS/COMMERCIAL



12 RESTAURANTS/COMMERCIAL



10 RESTAURANTS/COMMERCIAL



5 PARKING LOT



6 OFFICE/RESIDENTIAL



7 UNDER CONSTRUCTION OFFICE/RESIDENTIAL



8 OFFICE/RESIDENTIAL



1 COMMERCIAL BUILDING



2 COMMERCIAL BUILDING



3 COMMERCIAL BUILDING



4 RESTAURANT



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ARC TEC is a leader in the architectural technology industry. We provide a full range of services including architectural design, engineering, construction management, and interior design. Our team of professionals is dedicated to providing high-quality, innovative solutions for our clients. We are currently seeking qualified individuals for various positions. If you are interested, please send your resume and cover letter to: info@arctecinc.com. We are an equal opportunity employer. Minorities and women are encouraged to apply.

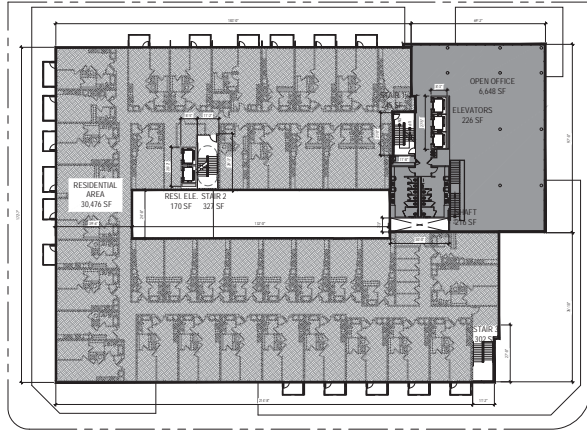
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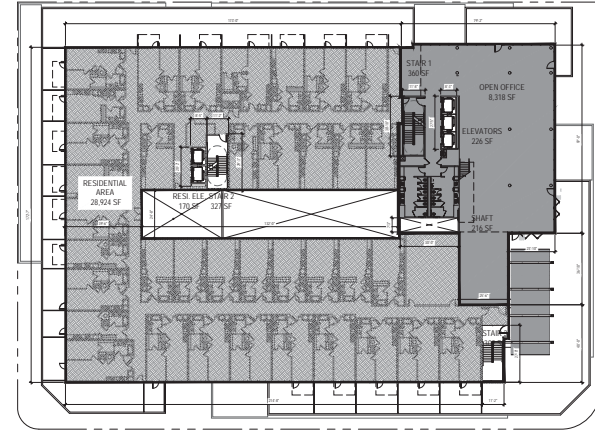
NEIGHBORHOOD CONTEXT

A 0.16
PROJECT NO. 205207



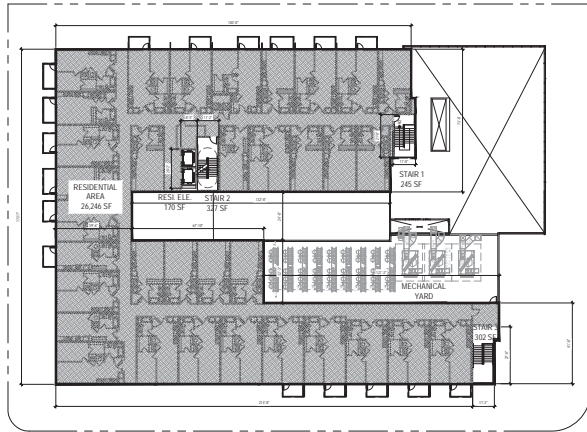
FIFTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	51,743 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #2	341 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	52,562 SQ. FT.

SECOND LEVEL

OFFICE AREA	57,845 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	248 SQ. FT.
STAIR #3	302 SQ. FT.
SHAFTS	213 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	59,134 SQ. FT.

THIRD LEVEL

OFFICE AREA	52,462 SQ. FT.
STAIR #1	280 SQ. FT.
STAIR #2	248 SQ. FT.
STAIR #3	302 SQ. FT.
SHAFTS	213 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	53,751 SQ. FT.

FOURTH LEVEL

OFFICE AREA	7,958 SQ. FT.
STAIR #1	340 SQ. FT.
STAIR #2	216 SQ. FT.
STAIR #3	302 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	9,062 SQ. FT.

FIFTH LEVEL

OFFICE AREA	6,448 SQ. FT.
STAIR #1	245 SQ. FT.
STAIR #2	216 SQ. FT.
STAIR #3	302 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	7,637 SQ. FT.

FAR FLOOR AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	51,743 SQ. FT.
RESIDENTIAL SPACE	3,360 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #2 (RES.)	212 SQ. FT.
STAIR #3	341 SQ. FT.
PARKING RAMP	1,725 SQ. FT.
RESIDENTIAL ELEVATORS	148 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
FLOOR AREA OFFICE*	54,287 SQ. FT.
FLOOR AREA RESIDENTIAL*	3,732 SQ. FT.

SECOND LEVEL

OFFICE AREA	57,845 SQ. FT.
FLOOR AREA OFFICE*	57,845 SQ. FT.

THIRD LEVEL

OFFICE AREA	52,462 SQ. FT.
FLOOR AREA OFFICE*	52,462 SQ. FT.

FOURTH LEVEL

OFFICE AREA	8,318 SQ. FT.
RESIDENTIAL AREA	28,924 SQ. FT.
FLOOR AREA OFFICE*	8,318 SQ. FT.
FLOOR AREA RESIDENTIAL*	28,924 SQ. FT.

FIFTH LEVEL

OFFICE AREA	6,448 SQ. FT.
RESIDENTIAL AREA	30,476 SQ. FT.
FLOOR AREA OFFICE*	6,448 SQ. FT.
FLOOR AREA RESIDENTIAL*	30,476 SQ. FT.

SIXTH LEVEL

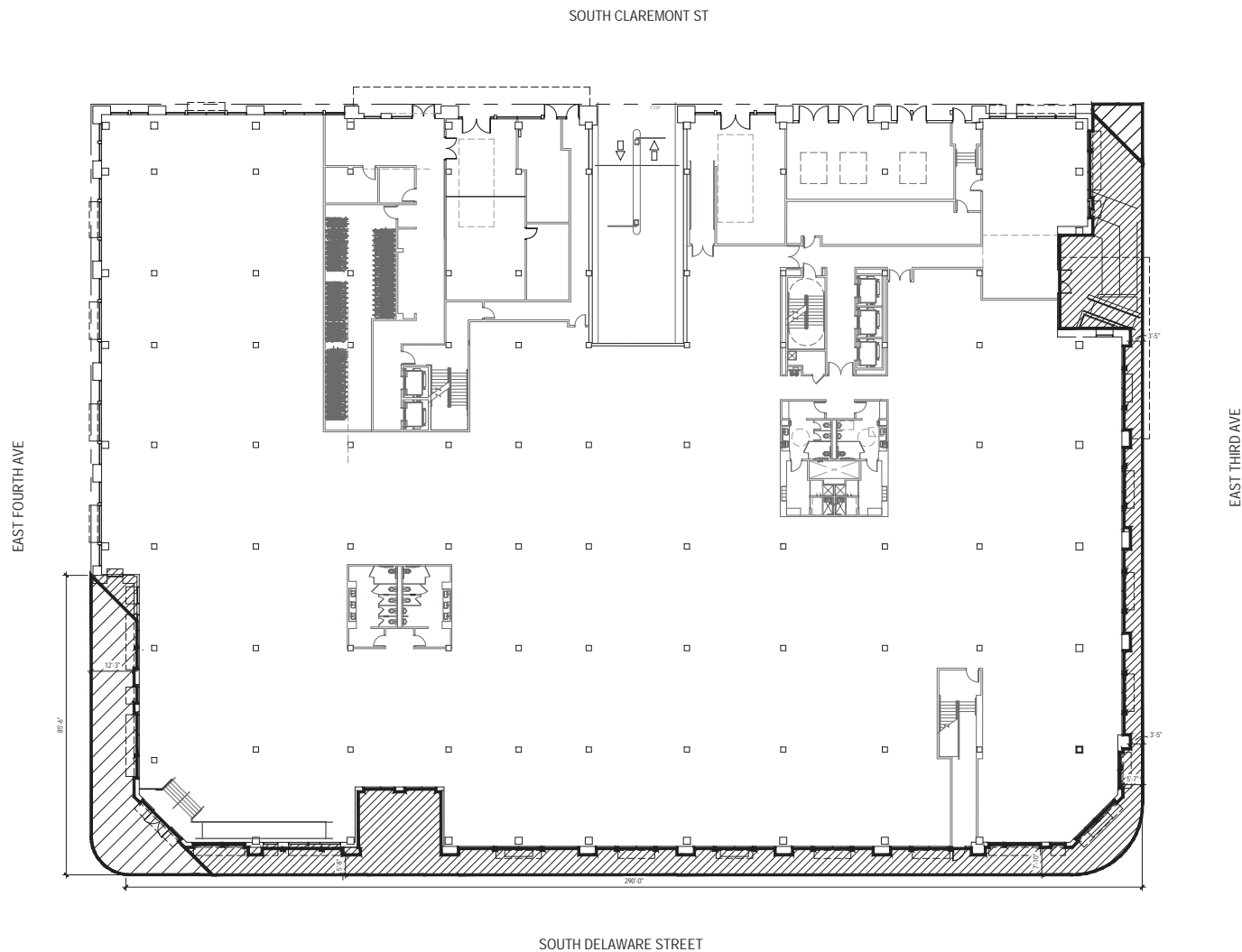
RESIDENTIAL AREA	26,246 SQ. FT.
FLOOR AREA RESIDENTIAL*	26,246 SQ. FT.

TOTAL FAR FLOOR AREA OFFICE: 179,560 SQ. FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 89,378 SQ. FT.
TOTAL PARKING FLOOR AREA: 182,146 SQ. FT.

*PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in R1 zoning districts.
(1) Floor area is measured from the exterior facade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (4)(B).
(2) Exclusions. The following are not counted as floor area:
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

OFFICE AREA	OFFICE AREA
RESIDENTIAL AREA	RESIDENTIAL AREA
AREAS EXCLUDED FROM FAR CALCULATIONS	AREAS EXCLUDED FROM FAR CALCULATIONS
OPEN TO BELOW AREA ADDED TO FAR CALCULATIONS	OPEN TO BELOW AREA ADDED TO FAR CALCULATIONS



COMMERCIAL OPEN SPACE DATA

A27.38.090 OPEN SPACE REQUIREMENTS.

(A) OPEN SPACE SHALL BE PROVIDED IN AN AMOUNT EQUAL TO ONE PERCENT (1%) OF THE NON-RESIDENTIAL FLOOR AREA OF THE PROJECT, NOT INCLUDING PARKING. PROVIDED THAT THERE SHALL BE NO REQUIREMENT FOR OPEN SPACE WHERE THE RESULTING OPEN SPACE WOULD BE LESS THAN 200 SQUARE FEET.

(B) THIS REQUIRED OPEN SPACE SHALL BE USABLE OPEN SPACE LOCATED AT GROUND LEVEL DIRECTLY ACCESSIBLE TO A PUBLIC SIDEWALK WITH A MINIMUM WIDTH ALONG THE SIDEWALK OF 25 FEET. FIFTY PERCENT OF THE REQUIRED OPEN SPACE SHALL BE UNSHADED BETWEEN NOON AND 2:00 P.M. AT THE SPRING AND FALL EQUINOX EXCEPT WHERE THE OPEN SPACE IS ALREADY SHADED BY AN EXISTING BUILDING AND NO OTHER OPPORTUNITIES EXIST ON THE SITE. THIS OPEN SPACE AREA SHALL INCLUDE PROVISIONS FOR PUBLIC USE FACILITIES, SUCH AS SEATING FOR THE PUBLIC IN THE PUBLIC AREAS.

OPEN SPACE AT GROUND LEVEL, SHADED BETWEEN NOON-2P ON THE SPRING AND FALL EQUINOX

OPEN SPACE AT GROUND LEVEL, UNSHADED BETWEEN NOON-2P ON THE SPRING AND FALL EQUINOX

REQUIRED OPEN SPACE

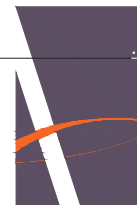
TOTAL COMMERCIAL S.F. = 180,950 S.F.
180,950 S.F. - 1,810 S.F. REQUIRED OPEN SPACE

PROVIDED OPEN SPACE

4,499 S.F. SHADED OPEN SPACE
1,214 S.F. UNSHADED OPEN SPACE
5,713 S.F. PROVIDED OPEN SPACE > 1,810 REQUIRED OPEN SPACE

REQUIRED UNSHADED OPEN SPACE

50% OF REQUIRED COMMERCIAL OPEN SPACE
1,810 S.F. - 5 - 905 S.F. REQUIRED UNSHADED OPEN SPACE
1,214 S.F. PROVIDED UNSHADED OPEN SPACE > 914 S.F. REQUIRED UNSHADED OPEN SPACE



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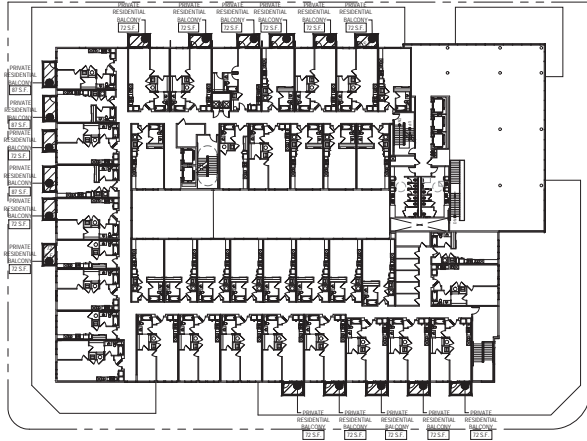
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SAN MATEO, CA 94401

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OFFICE OPEN SPACE AREA
DIAGRAMS

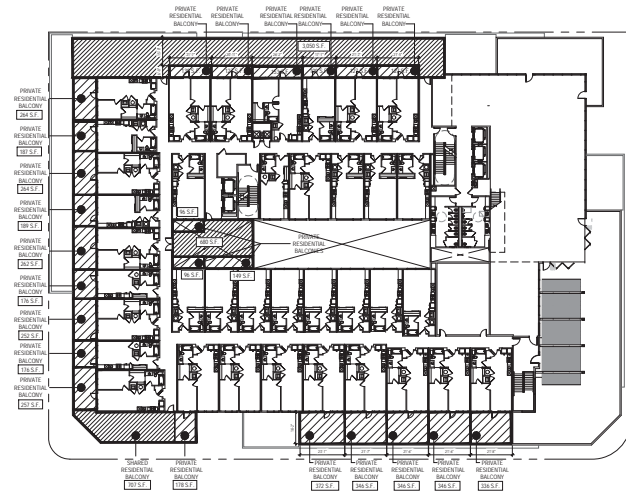
A 0.23

PROJECT NO. 205207



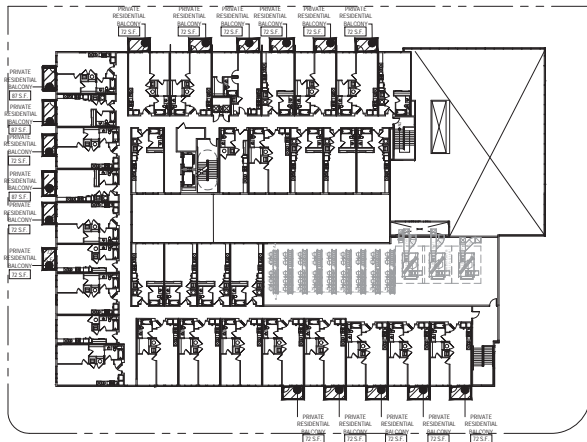
FIFTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"

USABLE OPEN SPACE CALCULATIONS

PER SBMAC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

(G) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) AND SHALL NOT BE LESS THAN SIX (6) FEET IN ANY DIMENSION.

57 RESIDENTIAL UNITS HAVE PRIVATE OPEN SPACE MEETING THE ABOVE REQUIREMENTS:
PROVIDED PRIVATE OPEN SPACE = 7,087 S.F.

54 UNITS REQUIRE COMMON OPEN SPACE (54 X (57 S.F. X 1.5)) = 4,615 S.F.
PROVIDED COMMON OPEN SPACE = 4,615 S.F.

TOTAL REQUIRED OPEN SPACE MEET THROUGH COMBINATION OF PRIVATE AND COMMON OPEN SPACE.

TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON = 11,702 S.F.

OPEN SPACE LEGEND

- PRIVATE OPEN SPACE
- COMMON OPEN

2019 CPC TABLE 422.1 - MINIMUM PLUMBING FACILITIES (EXCERPT)									
Each building shall be provided with sanitary facilities, including provisions for persons with disabilities as prescribed by the Department Having Jurisdiction. Table 422.1 applies to new buildings, additions to a building, and changes of occupancy or type in an existing building resulting in increased occupant load, in accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.									
For requirements for persons with disabilities, Chapter 11A or 11B of the California Building Code shall be used.									
The total occupant load shall be determined in accordance with the Occupant Load Factor Table A.									
Water Closets ¹ (Persons per Fixture)		Lavatories (Persons per Fixture)		Urinals (Persons per Fixture)		Bathrooms or Showers (Persons per Fixture)		Drinking Fountains (Persons per Fixture)	Other
A-2 Assembly occupancy - restaurants, pubs, lounges, night clubs and banquet halls									
Male: 1:1-50 2:51-150 3:151-300 4:301-400	Female: 1:1-25 2:26-50 3:51-100 4:101-200 5:201-400	Male: 1:1-50 2:51-150 3:151-300 4:301-400	Female: 1:1-25 2:26-50 3:51-100 4:101-200 5:201-400	Male: 1:1-50 2:51-150 3:151-300 4:301-400	Female: 1:1-25 2:26-50 3:51-100 4:101-200 5:201-400			1:1-250 2:201-500 3:501-750	1 service sink or laundry tray
Over 400, add 1 fixture for each additional 250 males and 1 for each additional 125 females.		Over 400, add 1 fixture for each additional 250 males and 1 fixture for each 200 females.		Over 400, add 1 fixture for each additional 300 males.				Over 750, add 1 fixture for each additional 500 persons.	
B Business occupancy (office, professional or service type transactions) - banks, vet clinics, hospitals, car wash, banks, beauty salons, ambulatory health care facilities, barbershops and dry cleaning, educational institutions (above high school), or training facilities not located within school, post offices and printing shops									
Male: 1:1-50 2:51-100 3:101-200 4:201-400	Female: 1:1-25 2:26-50 3:51-100 4:101-200 5:201-400	Male: 1:1-50 2:26-50 3:51-100 4:101-200 5:201-400	Female: 1:1-25 2:26-50 3:51-100 4:101-200 5:201-400	Male: 1:1-50 2:26-50 3:51-100 4:101-200 5:201-400	Female: 1:1-25 2:26-50 3:51-100 4:101-200 5:201-400			1 per 150	1 service sink or laundry tray
Over 400, add 1 fixture for each additional 150 males and 1 for each additional 150 females.		Over 750, add 1 fixture for each additional 250 males and 1 fixture for each 200 females.		Over 600, add 1 fixture for each additional 300 males.					

- The figures shown are based upon (1) fixture being the minimum required for the number of persons indicated or any fraction thereof.
- A restaurant is defined as a business that sells food to be consumed on the premises.
 - The number of occupants for a drive-in restaurant shall be considered as equal to the number of parking stalls.
 - Hand-washing facilities shall be available in the kitchen for employees.
- The total number of required water closets for females shall not be less than the total number of required water closets and urinals for males. This requirement shall not apply when single occupancy toilet facilities are provided for each sex in an A or E occupancy with an occupant load of less than 50.
 - The required urinal shall be permitted to be omitted or
 - If installed, the urinal shall not require a second water closet to be provided for the female.
- In accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.
- Building categories not shown on this table shall be considered separately by the Authority Having Jurisdiction.
- Drinking fountains shall not be installed in toilet rooms.
- Not applicable.

TABLE A. OCCUPANT LOAD FACTOR		
OCCUPANCY ¹ , **		OCCUPANT LOAD FACTOR (square feet)
Group A		
1. Auditoriums, convention halls, dance floors, lodge rooms, stadiums, and arenas (where no fixed seating is provided) (see 102 "one-half" the number of fixed seating).	15	
2. Conference rooms, dining rooms, drinking establishments, exhibit rooms, gymnasiums, lounges, stages, and similar uses, including restaurants ² classified as Group B occupancies	30	
3. Working places, principal assembly areas, educational and activity unit (where no fixed seating is provided) (see 102 "one-half" the number of fixed seating).	30	
Group B		
Office or public buildings (areas accessible to the public)	200	

- Any uses not specifically listed shall be based on similar uses listed in this table.
- For building or space with mixed occupancies, use appropriate occupancy group for each area (for example, a school may have an "A" occupancy for the gymnasium, a "B" occupancy for the office, an "E" occupancy for the classrooms, etc.).
- Accessory areas may be included (for example, hallway, restroom, stair enclosure).

FIRE RESISTANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)												
BUILDING ELEMENT	TYPE I-A	TYPE I-B	TYPE IIA ¹	TYPE IIB	TYPE IIB-1	TYPE IIB-2	TYPE IIB-3	TYPE IIB-4	TYPE IIB-5	TYPE IIB-6	TYPE IIB-7	TYPE IIB-8
Primary Structural Frame ² (See Section 204)	3 ¹	2 ¹	1	0	1	0	HT	1	0	HT	1	0
Bearing Walls - Exterior ¹	3	2	1	0	2	2	2	2	1	0	HT	1
Interior	3 ¹	2 ¹	1	0	1	0	HT	1	0	HT	1	0
Nonbearing Walls And Partitions - Exterior	See Table 602											
Nonbearing Walls And Partitions - Interior	0	0	0	0	0	0	0	0	0	0	0	0
Floor Construction and Associated Secondary Members (See Section 202)	2	2	1	0	1	0	HT	1	0	HT	1	0
Roof Construction and Associated Secondary Members (See Section 202)	1-1/2	1-1/2	1-1/2	0	1-1/2	0	HT	1-1/2	0	HT	1-1/2	0

- Roof supports. Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
- Except for Group A, E, F, G, H, I, L, M, R, S, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, the protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below.
 - Fire-retardant treated wood members shall be allowed to be used for such unprotected members.
- For Group A, E, F, G, H, I, L, M, R, S, R-2, R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, the protection of members other than the structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant treated wood members shall be allowed to be used for such unprotected members.
- For one-story portions of Group A and E assembly occupancies the roof framing system of Type I-A or Type I-B construction may be of unprotected construction when such roof framing system is open to the assembly area and does not contain concealed spaces.
- In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.
- Not less than the fire-resistance rating required by other sections of this code.
- Not less than the fire-resistance rating based on fire separation distance (See Table 602).
- Not less than the fire-resistance rating as referenced in Section 704.10.

PLUMBING FIXTURE TABULATIONS

FIRST FLOOR

A-2 OCCUPANCY NET AREA: 8,567 S.F.

8,567 S.F. / 30 S.F. PER PERSON = 285.4 PERSONS; ROUND UP TO 286 PERSONS

143 MEN, 143 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (143/50) X 2 = 1.91		WATER CLOSETS: (143/50) X 1 = 1.91	
URINALS: (143/50) X 1 = .72		URINALS: (143/50) X 1 = .72	
LAVATORIES: (143/50) X 1 = .95		LAVATORIES: (143/50) X 1 = .95	

B OCCUPANCY NET AREA: 41,614 S.F.

34,268 S.F. / 200 S.F. PER PERSON = 171.34 PERSONS; ROUND UP TO 172 PERSONS

86 MEN, 86 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (86/50) X 2 = 1.72		WATER CLOSETS: (86/50) X 1 = 1.72	
URINALS: (86/50) X 1 = .86		URINALS: (86/50) X 1 = .86	
LAVATORIES: (86/50) X 2 = 1.15		LAVATORIES: (86/50) X 2 = 1.15	

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR FIRST FLOOR OFFICE

PER CBC SECTION 422.1 WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: 3.43 ROUND TO 4		WATER CLOSETS: 6.3 ROUND TO 7	
URINALS: 1.58 ROUND TO 2		URINALS: 2.61 ROUND TO 3	
LAVATORIES: 2.11 ROUND TO 3		LAVATORIES: 2.61 ROUND TO 3	

MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS: 4		WATER CLOSETS: 8	
URINALS: 4		URINALS: 5	
LAVATORIES: 5		LAVATORIES: 5	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

A-2 OCCUPANCY NET AREA: 10,404 S.F.

10,404 S.F. / 30 S.F. PER PERSON = 346.8 PERSONS; ROUND UP TO 347 PERSONS

174 MEN, 174 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR SECOND FLOOR OFFICE

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: 3.29 ROUND TO 4		WATER CLOSETS: 8.56 ROUND TO 9	
URINALS: 1.40 ROUND TO 2		URINALS: 3.8 ROUND TO 5	
LAVATORIES: 3.12 ROUND TO 4		LAVATORIES: 3.12 ROUND TO 4	

MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS: 6		WATER CLOSETS: 11	
URINALS: 5		URINALS: 6	
LAVATORIES: 6		LAVATORIES: 6	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (174/50) X 3 = 1.74		WATER CLOSETS: (174/50) X 4 = 3.48	
URINALS: (174/50) X 1 = .87		URINALS: (174/50) X 2 = 1.74	
LAVATORIES: (174/50) X 2 = 1.74		LAVATORIES: (174/50) X 2 = 1.74	

THIRD FLOOR OFFICE

A-2 OCCUPANCY NET AREA: 1,620 S.F. (EXTERIOR)

1,620 S.F. / 30 S.F. PER PERSON = 54 PERSONS

27 MEN, 27 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (27/50) X 1 = 0.54		WATER CLOSETS: (27/50) X 2 = 1.08	
URINALS: (27/50) X 1 = 0.54		URINALS: (27/50) X 1 = 0.54	
LAVATORIES: (27/50) X 1 = 0.18		LAVATORIES: (27/50) X 1 = 0.18	

A-2 OCCUPANCY NET AREA: 10,147 S.F. (INTERIOR)

10,147 S.F. / 30 S.F. PER PERSON = 338.23 PERSONS; ROUND UP TO 339 PERSONS

170 MEN, 170 WOMEN

MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (170/50) X 3 = 1.7		WATER CLOSETS: (170/50) X 4 = 3.4	
URINALS: (170/50) X 1 = .85		URINALS: (170/50) X 2 = 1.7	
LAVATORIES: (170/50) X 2 = 1.7		LAVATORIES: (170/50) X 2 = 1.7	

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR THIRD FLOOR OFFICE

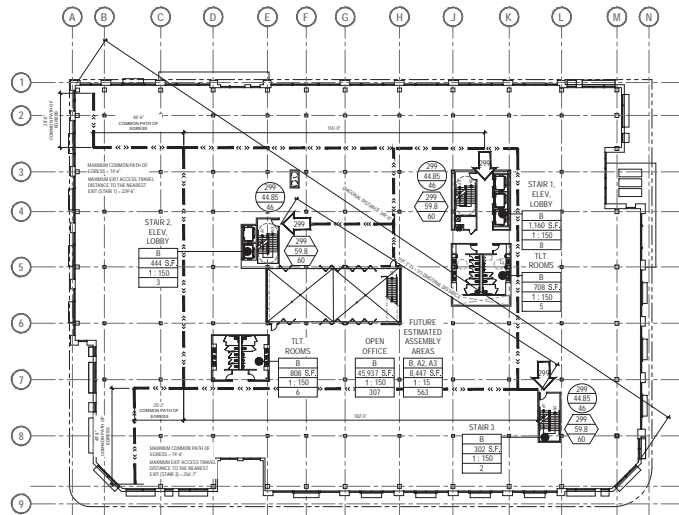
MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: 4.15 ROUND TO 5		WATER CLOSETS: 9.56 ROUND TO 10	
URINALS: 2.26 ROUND TO 3		URINALS: 4.42 ROUND TO 5	
LAVATORIES: 3.57 ROUND TO 4		LAVATORIES: 4.42 ROUND TO 5	

MEN'S FIXTURES	PROVIDED	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS: 5		WATER CLOSETS: 11	
URINALS: 6		URINALS: 6	
LAVATORIES: 6		LAVATORIES: 6	

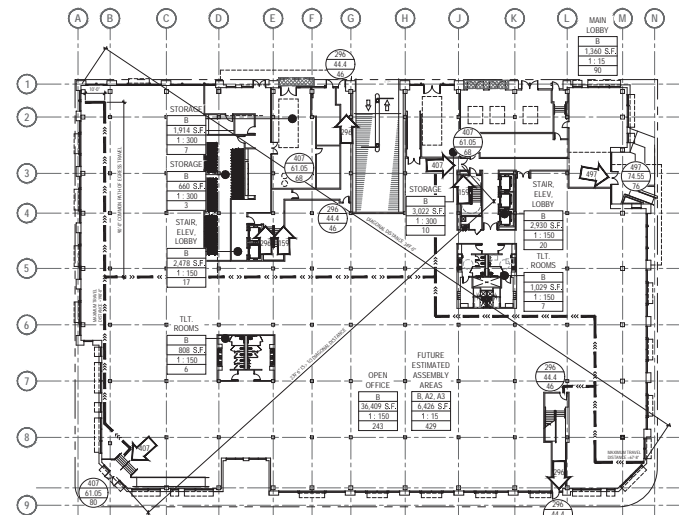
MEN'S FIXTURES	REQUIRED	WOMEN'S FIXTURES	REQUIRED
WATER CLOSETS: (170/50) X 3 = 1.7		WATER CLOSETS: (170/50) X 4 = 3.4	
URINALS: (170/50) X 1 = .85		URINALS: (170/50) X 2 = 1.7	
LAVATORIES: (170/50) X 2 = 1.7		LAVATORIES: (170/50) X 2 = 1.7	

FOURTH AND FIFTH FLOOR OFFICE

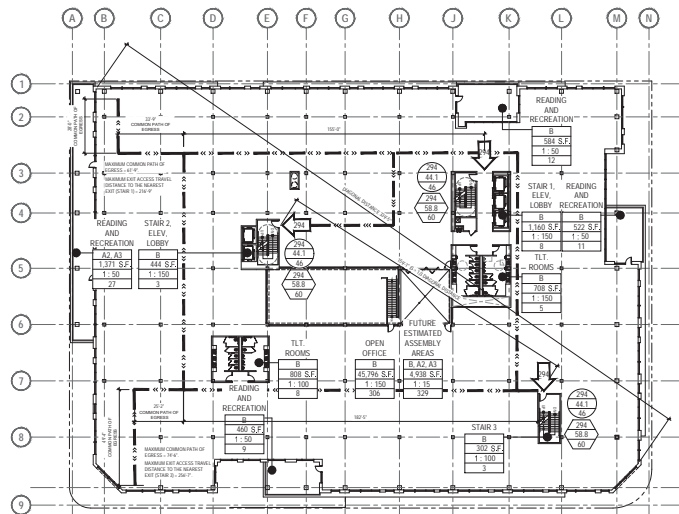
A-2 OCCUPANCY NET AREA: 5,025 S.F. (EXTERIOR)



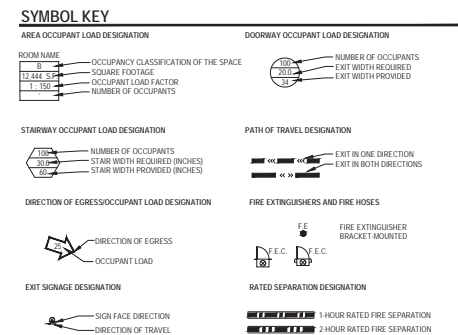
SECOND LEVEL EGRESS PLAN
SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN
SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN
SCALE: 1/32" = 1'-0"



EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AN EMERGENCY VOICELARM SYSTEM PER CBC SECTION 907.5.2.2 IN ADDITION TO THE AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2' PER PERSON FOR STAIRS AND 0.15' PER PERSON AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



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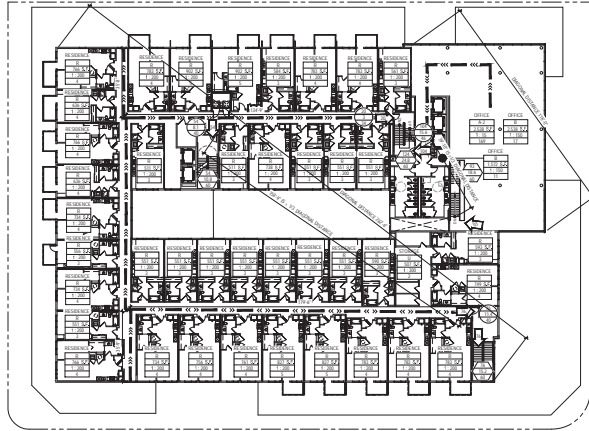
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02/23/2021 PRELIM PLANNING SUBMITTAL
06/17/2021 PRELIM PLANNING RESUBMITTAL
07/30/2021 PRELIM PLANNING RESUBMITTAL II
10/01/2021 1ST FORMAL PLANNING SUBMITTAL
12/23/2021 2ND FORMAL PLANNING SUBMITTAL
03/29/2022 3RD FORMAL PLANNING SUBMITTAL

EGRESS DIAGRAMS

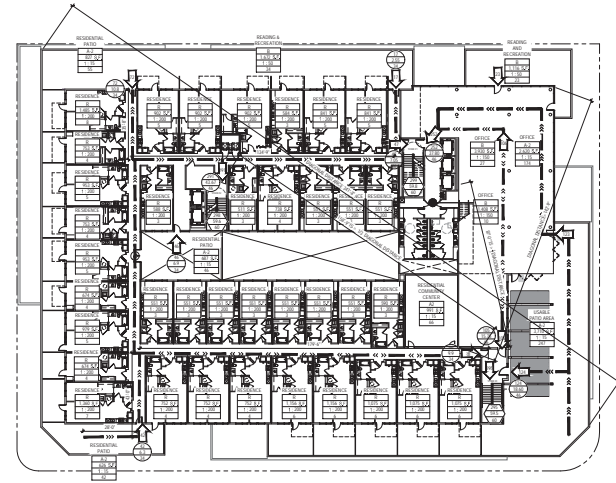
A 0.32

PROJECT NO. 205207



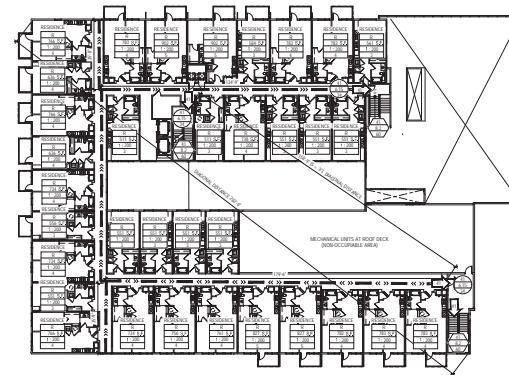
FIFTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



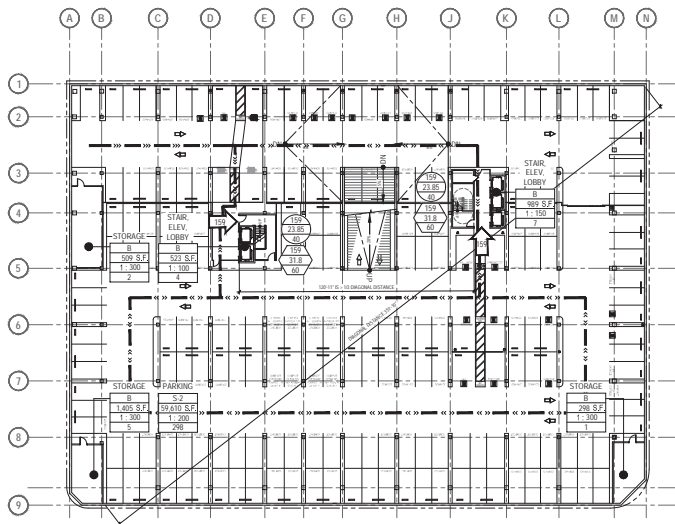
FOURTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



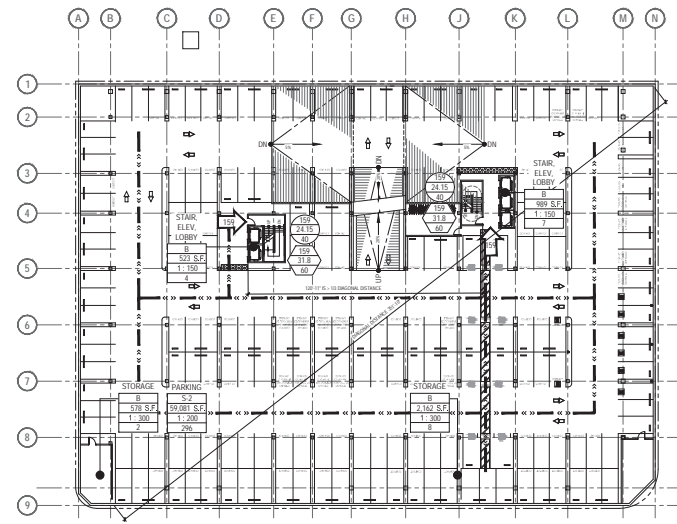
SIXTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



B2 LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



B1 LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



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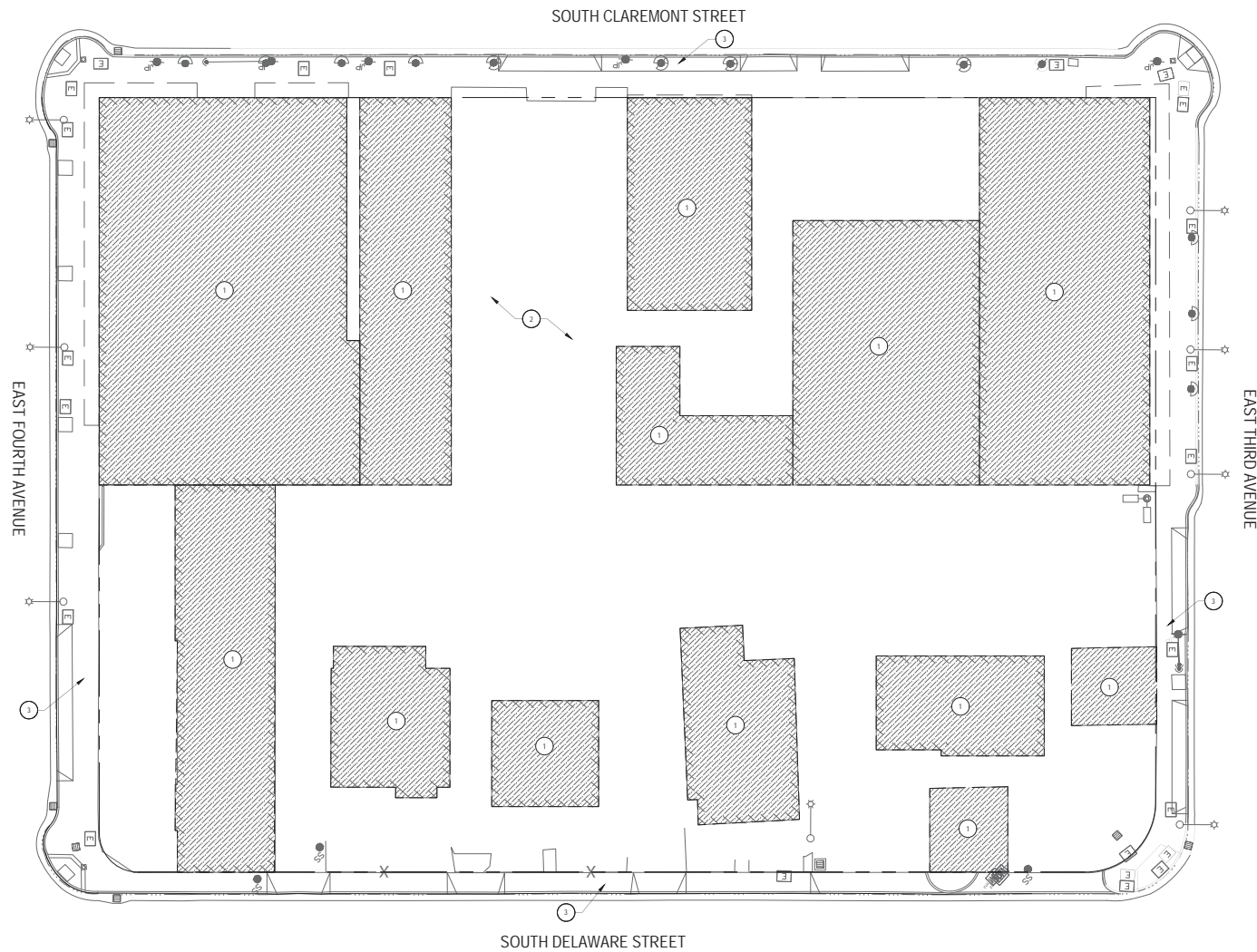
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02/22/2021	PRELIM PLANNING SUBMITTAL
06/12/2021	PRELIM PLANNING RESUBMITTAL
07/30/2021	PRELIM PLANNING RESUBMITTAL II
10/01/2021	1ST FORMAL PLANNING SUBMITTAL
12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/29/2022	3RD FORMAL PLANNING SUBMITTAL

EGRESS DIAGRAM

A0.34

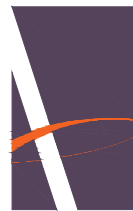
PROJECT NO. 205207



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING BUILDING TO BE DEMOLISHED
- 2 EXISTING PAVED PARKING AND DRIVES TO BE REMOVED
- 3 EXISTING PUBLIC SIDEWALK TO REMAIN



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PLANNING APPLICATION FOR:
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BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02-22-2021	PRELIM PLANNING SUBMITTAL
06-17-2021	PRELIM PLANNING RE-SUBMITTAL
07-30-2021	PRELIM PLANNING RE-SUBMITTAL II
10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-29-2022	3RD FORMAL PLANNING SUBMITTAL

DEMOLITION SITE PLAN

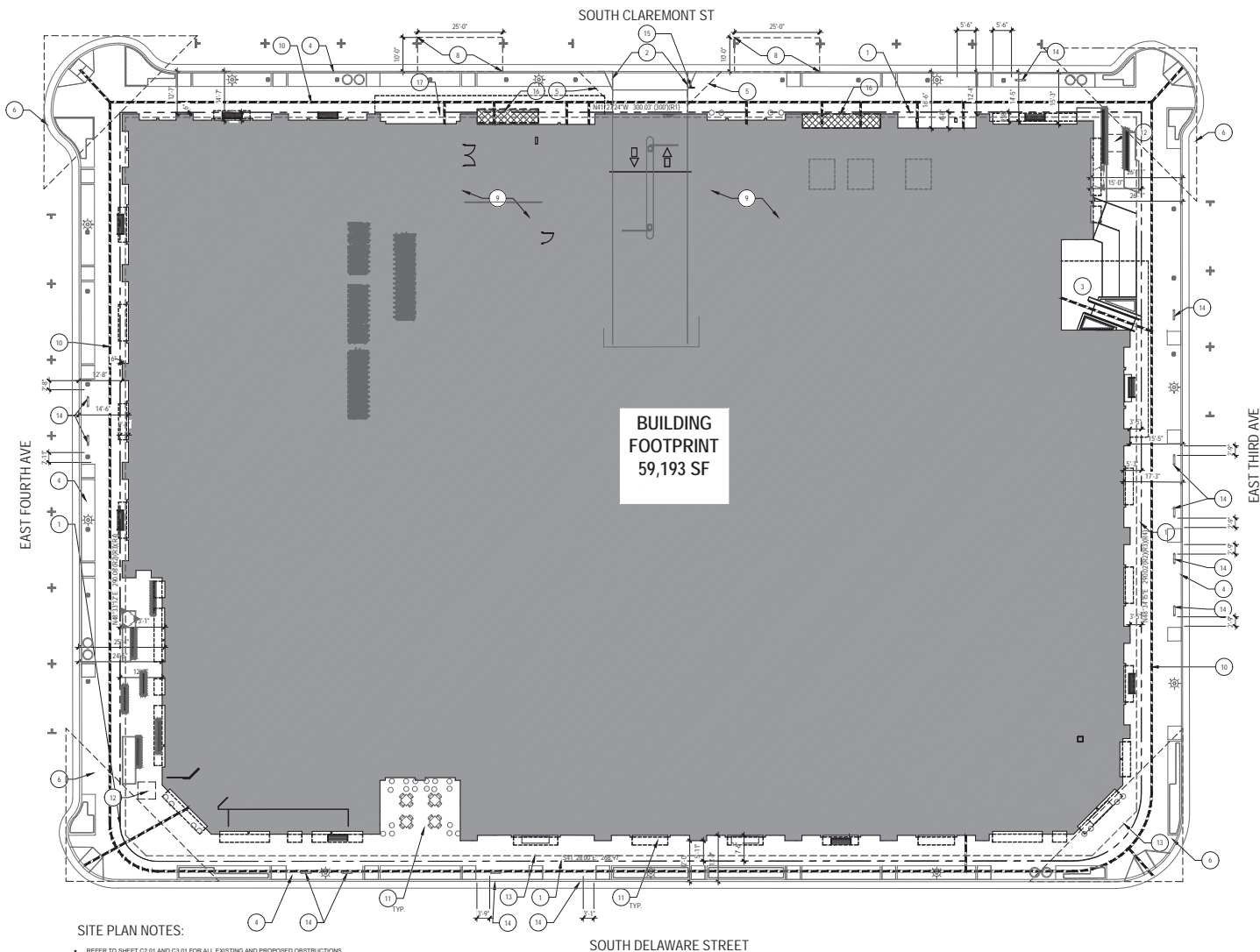
SCALE: 1/16" = 1'-0"



DEMOLITION SITE PLAN

A 1.00

PROJECT NO. 205207



SITE PLAN NOTES:

- REFER TO SHEET C2.01 AND C3.01 FOR ALL EXISTING AND PROPOSED OBSTRUCTIONS ON SIDEWALKS AND CURBS INCLUDING BUT NOT LIMITED TO HYDRANTS, UTILITY METERS, UTILITY POLES AND STREETLIGHTS.
- REFER TO SHEET C2.01 FOR ALL EXISTING EASEMENTS ON THE PROJECT. THERE ARE NO PROPOSED EASEMENTS AT THIS TIME.
- REFER TO SHEET L0.1 FOR LOCATION, SPECIES AND SIZE OF ALL EXISTING TREES NOTED TO BE REMOVED.

SITE PLAN

SCALE: 1/16" = 1'-0"

PROJECT DATA

ASSESSOR'S PARCEL NO.: 034185160, 034185090, 034185040, 034185060, 03485170, 034185120, 034185120, 034185110, 034184190, 034185200, 034185140.

ZONING: CBOVS - CENTRAL BUSINESS SUPPORT
SITE AREA: ±65,888 S.F. / 1.51 ACRES
MAX. ALLOWABLE AREA / MAX. F.A.R.: 197,844 S.F. / 3.0
MAX. RESIDENTIAL UNITS (50 PER ACRE): 76 UNITS
CALIFORNIA DENSITY BONUS (ADDITIONAL 150): 114 UNITS

ALLOWABLE HEIGHT: 55'-0"
PROPOSED HEIGHT: 72'-10"

PROPOSED FLOOR AREA:

FIRST FLOOR:	OFFICE:	58,099 S.F.
	RESIDENTIAL:	54,287 S.F.
SECOND FLOOR:	OFFICE:	57,845 S.F.
	RESIDENTIAL:	57,845 S.F.
THIRD FLOOR:	OFFICE:	52,462 S.F.
	RESIDENTIAL:	28,524 S.F.
FOURTH FLOOR:	OFFICE:	37,242 S.F.
	RESIDENTIAL:	8,718 S.F.
FIFTH FLOOR:	OFFICE:	28,524 S.F.
	RESIDENTIAL:	37,124 S.F.
SIXTH FLOOR:	OFFICE:	30,476 S.F.
	RESIDENTIAL:	26,346 S.F.
TOTAL FLOOR AREA BUILDING:		248,938 S.F.

FLOOR AREA RATIO (248,938 S.F. / 65,888 S.F.)
PER CALIFORNIA DENSITY BONUS, ADDITIONAL FAR INCREASE
BEYOND 3.0 REQUESTED

PARCEL COVERAGE: 59,193 / 65,888 = 89.8%
F.A.R. (OFFICE AREA): 179,560 / 65,888 = 2.72

TOTAL RESIDENTIAL UNITS: 111 UNITS
UNIT TYPE COUNT: 53 STUDIOS (APPROX. 500 S.F. EA.)
58 1-BEDROOMS (APPROX. 650 S.F. EA.)

PER SAN MATEO CITY CHARTER
AND MUNICIPAL CODE, 27.64.262

GENERAL OFFICE:
1 SHORT-TERM SPACE PER 20,000 S.F.
179,560 S.F. / 20,000 S.F. = 9 SPACES

1 LONG-TERM SPACE PER 10,000 S.F.
179,560 S.F. / 10,000 S.F. = 18 SPACES

RESIDENTIAL:
05 SHORT-TERM SPACES PER UNIT
111 UNITS * 05 = 5 SPACES

1 LONG-TERM SPACE PER UNIT
111 UNITS * 1 = 111 SPACES

TOTAL SHORT-TERM SPACES: 15 SPACES
TOTAL LONG-TERM SPACES: 129 SPACES

22 SHORT-TERM SPACES
129 LONG-TERM SPACES

BIKE PARKING PROVIDED (MINIMUM):

PARKING ANALYSIS

REFER TO SHEETS A02.11 AND A02.12

TOTAL PARKING REQUIRED PER SAN MATEO MUNICIPAL CODE CHAPTER 27.64

OFFICE (WITH 0.00% (100% MAX) S.F.)	341 SPACES
RESIDENTIAL (50% UNIT)	56 SPACES
PARKING TOTAL REQUIRED:	397 SPACES

USING NEW SAN MATEO PARKING CODE SECTION 27.64.100 (a)(1) WITH PREVIOUS SAN MATEO PARKING STUDY. WILL REQUIRE A CITY COMMISSIONED PARKING DEMAND STUDY.

PARKING PROVIDED	346 SPACES
OFFICE (INCLUDES 80 TANDEM SPACES)	346 SPACES
RESIDENTIAL	56 SPACES
PARKING TOTAL PROVIDED:	402 SPACES
(9% COMPACT)	

USING STATE DENSITY BONUS FOR RESIDENTIAL TANDEM SPACES AND COMPACT SPACES

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- EXISTING PROPERTY LINE
- CURB CUT AND RAMP TO BELOW GRADE PARKING
- STEPS AND RAMP FROM THE MAIN ENTRY TO PUBLIC SIDEWALK
- EXISTING PUBLIC SIDEWALK
- REQUIRED SITE TRIANGLE AT DRIVEWAY
- REQUIRED SITE TRIANGLE AT INTERSECTIONS
- NEW CURB EXTENSION
- OFF SITE LOADING
- SHIPPING & RECEIVING
- ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
- PUBLIC SEATING
- PRELIMINARY LOCATION OF PROPOSED PUBLIC ART. FINAL LOCATION IS BEING COORDINATED WITH THE CITY.
- LINE OF UNDER GROUND STRUCTURE BELOW
- BIKE RACK - (2) BIKE CAPACITY. REFER TO SHEET L0.1 FOR DIMENSIONS AND DETAILS
- STOP SIGN MOUNTED ON 3" DIA. METAL POST
- HATCHED AREA INDICATES SOLID WASTE PICK-UP STAGING AREA
- RESIDENTIAL ENTRY POINT - ACCESS TO LONG TERM BIKE PARKING AREA



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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
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03/29/2022	3RD FORMAL PLANNING SUBMITTAL

SITE PLAN

A 1.01

PROJECT NO. 205207



WINTER SOLSTICE - 9 AM
SCALE: N.T.S. 10



AUTUMN EQUINOX - 9 AM
SCALE: N.T.S. 7



SUMMER SOLSTICE - 9 AM
SCALE: N.T.S. 4



SPRING EQUINOX - 9 AM
SCALE: N.T.S. 1



WINTER SOLSTICE - 12 PM
SCALE: N.T.S. 11



AUTUMN EQUINOX - 12 PM
SCALE: N.T.S. 8



SUMMER SOLSTICE - 12 PM
SCALE: N.T.S. 5



SPRING EQUINOX - 12 PM
SCALE: N.T.S. 2



WINTER SOLSTICE - 3 PM
SCALE: N.T.S. 12



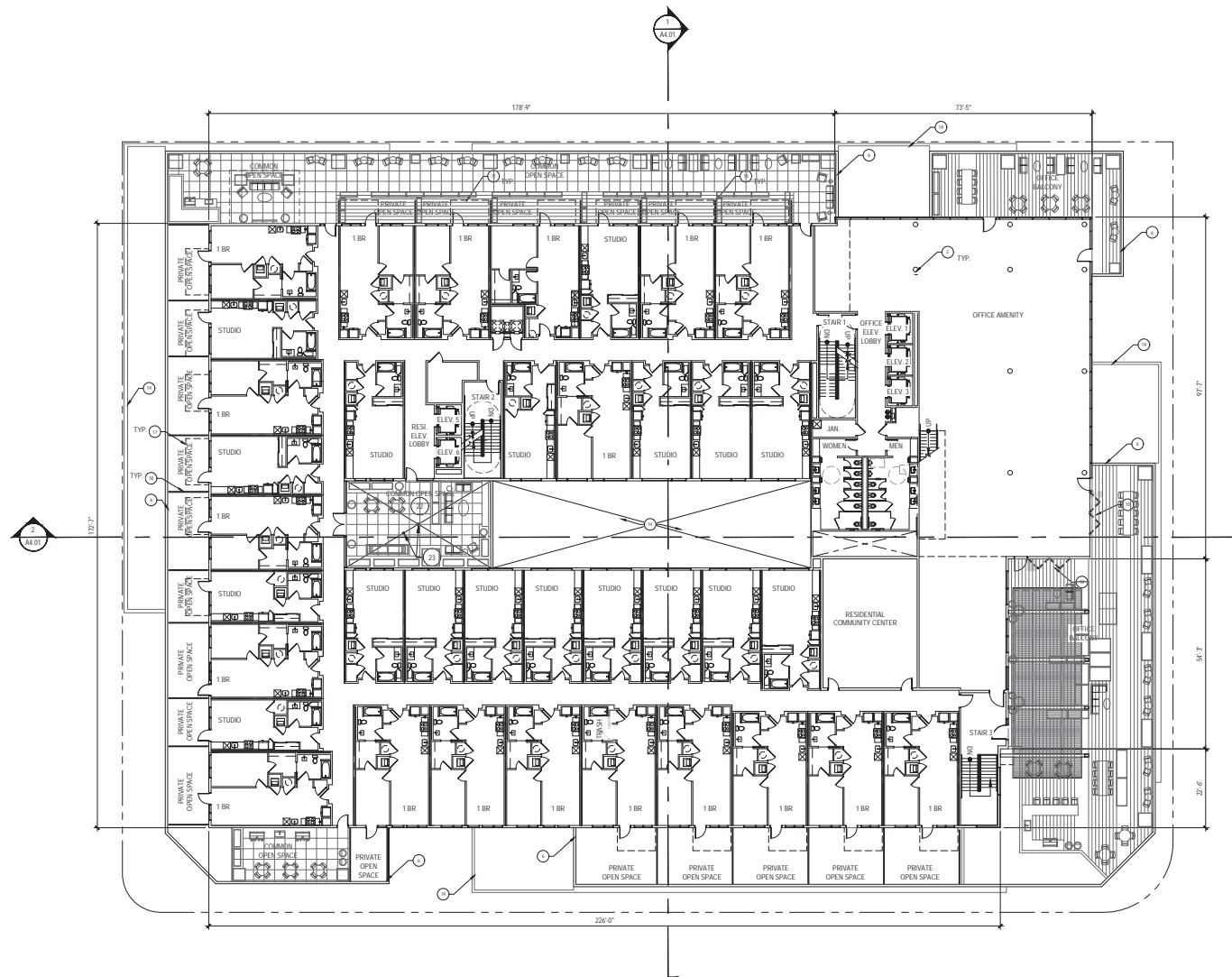
AUTUMN EQUINOX - 3 PM
SCALE: N.T.S. 9



SUMMER SOLSTICE - 3 PM
SCALE: N.T.S. 6



SPRING EQUINOX - 3 PM
SCALE: N.T.S. 3



FOURTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM: REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 RESIDENTIAL BALCONY
- 4 EXTERIOR WALL: REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL: REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 7 ROOF SCREEN
- 8 LONG TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA: SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
- 9 SHAFT
- 10 NANAWALL GLASS PARTITION
- 11 EXIT PASSAGEWAY
- 12 RAMP DOWN TO BELOW GRADE PARKING
- 13 OPEN TO ABOVE
- 14 OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES
- 15 TRASH CHUTE
- 16 LINE OF MEZZANINE ABOVE
- 17 LINE OF BALCONIES ABOVE
- 18 PATIO DIVIDERS
- 19 BALCONY BELOW
- 20 FIRE DEPT KNOCK SHUT OFF LOCATION
- 21 LINE OF SOLID WASTE STAGING AREA
- 22 STRUCTURAL SLAB AND TOPPING SLABOR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE AT 2% FOR POSITIVE DRAINAGE
- 23 FLOOR DRAIN AND OVERFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM

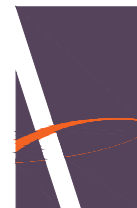
RESIDENTIAL UNITS COUNT:

4TH FLOOR: 37 UNITS
 STUDIOS 18
 1BR 19

5TH FLOOR: 40 UNITS
 STUDIOS 20
 1BR 20

6TH FLOOR: 34 UNITS
 STUDIOS 15
 1BR 19

TOTAL:
 STUDIOS 53 (48%)
 1BR 58 (52%)
 111



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FOURTH LEVEL PLAN

A 2.04

PROJECT NO. 202007



RESIDENTIAL UNITS COUNT:

STUDIOS	53 (48%)
1BR	58 (52%)
	111



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
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SAN MATEO, CA 94401

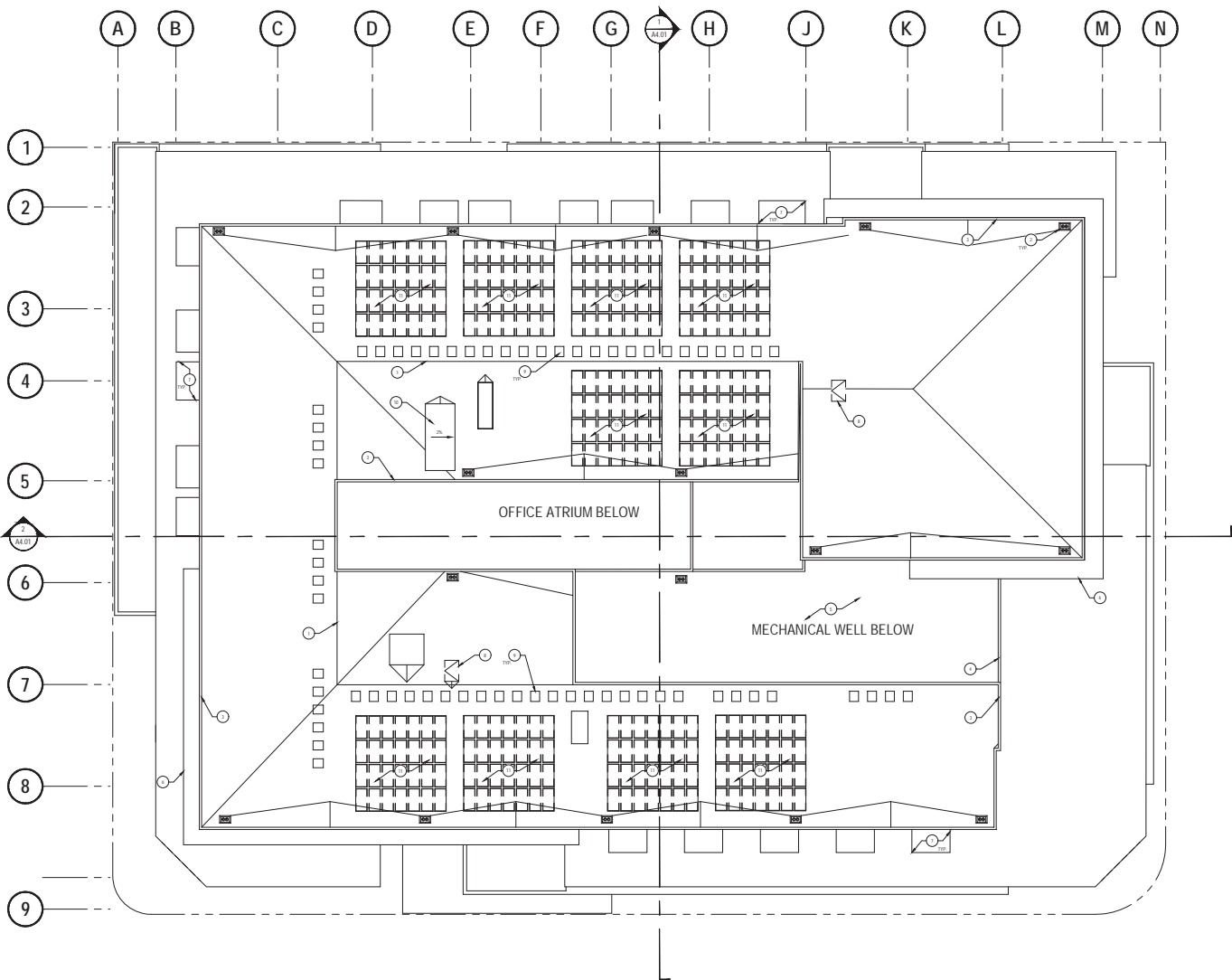
DATE	DESCRIPTION
02-22-2001	PRELIM. PLANNING SUBMITTA
04-21-2001	PRELIM. PLANNING RESUBMITTA
07-30-2001	PRELIM. PLANNING RESUBMITTA
10-01-2001	1ST FORMAL PLANNING SUBMITTA
12-23-2001	2ND FORMAL PLANNING SUBMITTA
03-29-2002	3RD FORMAL PLANNING SUBMITTA

FIFTH LEVEL PLAN

A 2.05

PROJECT NO: 205207

PROJECT NO: 205207



ROOF LEVEL PLAN

SCALE: 1/16" = 1'-0"



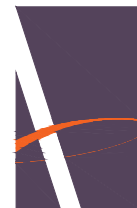
KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 RIDGE
- 2 ROOF DRAIN AND OVERFLOW
- 3 PARAPET WALL, SEE ELEVATION FOR HEIGHTS
- 4 ROOF SCREEN, SEE ELEVATION FOR HEIGHTS
- 5 MECHANICAL UNITS BELOW
- 6 LINE OF CANOPY BELOW
- 7 BALCONY BELOW
- 8 ROOF ACCESS HATCH, 4'X6' MIN. (TO MEET SMMC 23.54 (90.42 SECURITY STANDARDS)
- 9 RESIDENTIAL ROOF TOP MECHANICAL UNITS, FINAL SIZE AND LOCATION TO BE DETERMINED
- 10 ELEVATOR SHAFT
- 11 PER SMMC 23.24.030
A 5 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR NON-RESIDENTIAL GREATER THAN 10,000 SQUARE FEET
A 3 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR MULTI-FAMILY RESIDENTIAL 17 UNITS OR MORE
AT 15.1% EFFICIENCY 1 SQUARE FOOT = 15 WATTS
TOTAL BROW 15 WATTS = TOTAL SQUARE FEET REQUIRED
153.33 SQUARE FEET REQUIRED
OPTION 1 & 2 CONSIST OF ARRAYS OF 26 PANELS @ STANDARD 77'X39'
EACH OPTION PROVIDES 142 SQUARE FEET

ROOF PLAN GENERAL NOTES

1. ROOFING TO A MINIMUM AGED SOLAR REFLECTANCE OF 0.70 AND A MINIMUM THERMAL EMITTANCE OF 0.85
- OR
2. A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 85



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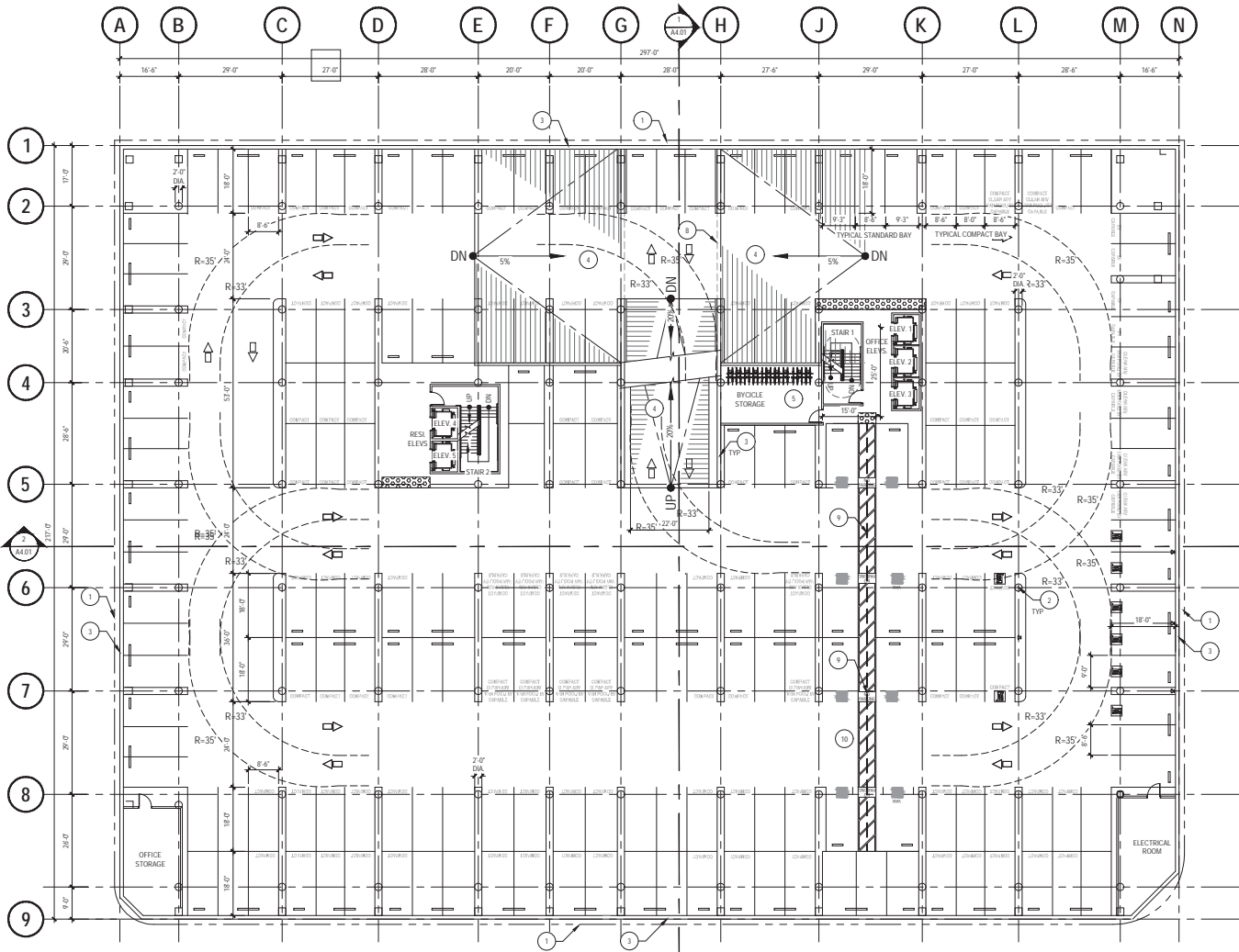
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ROOF LEVEL PLAN

A 2.31

PROJECT NO. 205207



P1 LEVEL PLAN

SCALE: 1/16" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 PROPERTY LINE
- 2 CONCRETE COLUMN
- 3 CAST-IN-PLACE CONCRETE WALLS
- 4 CONCRETE RAMP
- 5 LONG-TERM SECURE OFFICE BICYCLE PARKING
- 6 MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
- 7 METAL FENCE
- 8 DASHED LINE INDICATES RAMP ABOVE
- 9 ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
- 10 VAN ACCESSIBLE EVCS
- 11 STANDARD ACCESSIBLE EVCS
- 12 AMBULATORY EVCS
- 13 SLOPED PARKING SPACES BELOW RAMP ABOVE

FLOOR AREA

P1 LEVEL:	OFFICE:	64,346 SF
P2 LEVEL:	OFFICE:	44,573 SF
	RESIDENTIAL:	19,775 SF
	TOTAL AREA:	128,695 SF

PARKING CALCULATIONS

BELOW GRADE PARKING PROVIDED

P1 LEVEL:	OFFICE - TANDEM/TANDUM COMPACT STALLS	37 SPACES
	OFFICE - STANDARD/COMPACT STALL STALLS ¹	158 SPACES
	OFFICE - ADA/VAN ADA STALLS	8 SPACES
	TOTAL OFFICE PROVIDED:	203 SPACES
P2 LEVEL:	RESIDENTIAL - STANDARD/COMPACT STALL STALLS ¹	50 SPACES
	RESIDENTIAL - ADA/VAN ADA STALLS	3 SPACES
	TOTAL RESIDENTIAL PROVIDED:	53 SPACES
	OFFICE - TANDEM/TANDUM COMPACT STALLS ¹	105 SPACES
	OFFICE - STANDARD/COMPACT STALL STALLS	46 SPACES
	TOTAL OFFICE PROVIDED:	151 SPACES
	TOTAL PARKING PROVIDED:	407 SPACES

PARKING NOTES:

1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

PARKING ANALYSIS TABLE			
COMMERCIAL USE	TOTAL NUMBER OF STALLS	REQUIRED	PROVIDED
		341	346
	TOTAL NUMBER OF ACCESSIBLE STALLS	6	6
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	1

EV PARKING ANALYSIS TABLE			
COMMERCIAL USE	TOTAL NUMBER OF STALLS	REQUIRED	PROVIDED
		341	346
	TOTAL NUMBER OF EV READY STALLS (EVSE) ¹	5%-15	18
	TOTAL NUMBER OF EV CAPABLE STALLS (EV) ²	10%-34	36
	TOTAL NUMBER OF EV VAN ACCESSIBLE ³	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS ³	2	2
	TOTAL NUMBER OF EV AMBULATORY STALLS ³	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56
	TOTAL NUMBER OF EV READY STALLS (EVSE) ¹	15%-9	9
	TOTAL NUMBER OF EV VAN ACCESSIBLE STALLS ³	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS ³	0	0

EV NOTES:

1. EV AND EVSE PER SMMC SECTION 23.70.040 FOR MULTIFAMILY AND 23.70.050 FOR COMMERCIAL.
2. PER CBC SECTION 5.106.5.2 AND TABLE 5.106.5.2 8% FE, FE, CARPOOL/VANPOOL INCLUDED IN THE 10% DESIGNATED EV CAPABLE STALLS.
3. PER CBC TABLE 11B.208.2.1.

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B.208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
301-400	8	YES

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B.208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
26-50	2	YES



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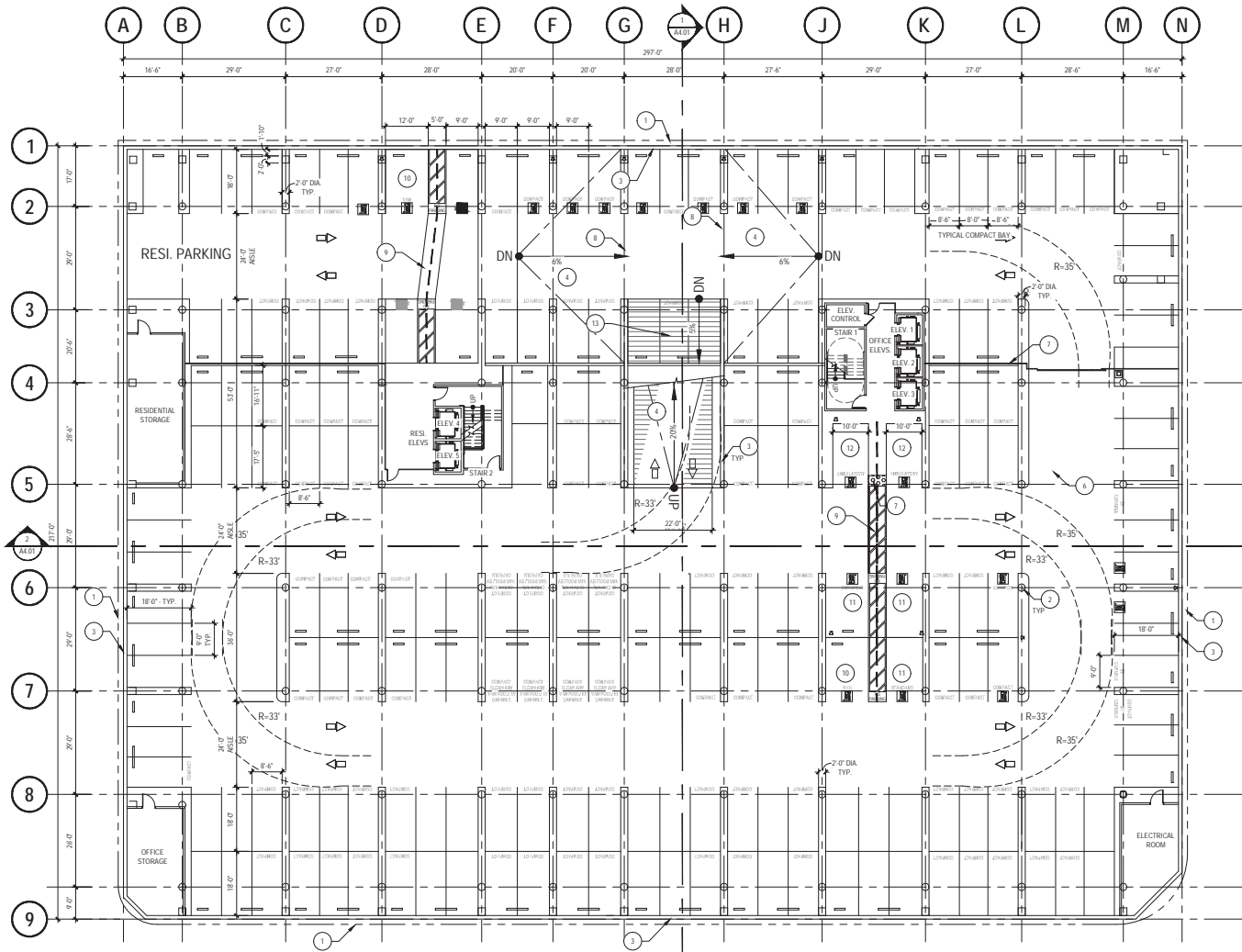
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B1 LEVEL PLAN

AB 2.11

PROJECT NO. 202007





3RD AVENUE - NORTH ELEVATION 6



S. CLAREMONT STREET - WEST ELEVATION 4

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
- 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- RESIDENTIAL NAIL FIN BLACK ALUMINUM WINDOWS
- EXTERIOR INSULATING FINISHING SYSTEM OVER METAL STUD FRAMING
- CEMENT FIBERBOARD PANEL RAIN SCREEN WITH REVEAL OVER METAL STUD FRAME
- GLASS FIBER REINFORCED CONCRETE PANEL OVER METAL STUD FRAME
- STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- ALUMINUM AND GLASS BALCONY
- ENTRY/EXIT DOOR
- TEMPERED GLAZING GUARDRAIL
- ALUMINUM COMPOSITE METAL
- EXISTING PROPERTY LINE
- EXPRESSED MULLION
- RECURSED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED - ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING BALUNES AND ARBORS
- CENTERLINE OF PUBLIC RIGHT OF WAY
- ENTRY TO BELOW GRADE PARKING STRUCTURE
- SECTIONAL OVERHEAD DOORS
- PATIO METAL TRELLIS SHADE

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- E1 EXTERIOR INSULATING FINISHING SYSTEM COLOR: TO MATCH BM 154B CLASSIC GRAY
- GF GLASS FIBER REINFORCED CONCRETE TO MATCH BM 152 RIVER REFLECTIONS
- G1 GLAZING TYPE: 1" INSULATED LOW TINT
- G2 GLAZING TYPE: 1" INSULATED GRAY TINT
- M1 ALUMINUM SUNSCREEN FINISH TO MATCH REYNOLDBOND SERIES: COLORWELD 500 XL FINISH: CHARCOAL
- M2 ALUMINUM SUNSCREEN OR FIN FINISH TO MATCH REYNOLDBOND SERIES: STONE FINISHES FINISH: ACIARO CORTEN
- P1 PAINT OVER STUCCO FINISH TO MATCH BENJAMIN MOORE COLOR: BM 154B CLASSIC GRAY
- P2 PAINT OVER STUCCO CEMENT BOARD BENJAMIN MOORE COLOR: BM 1125 ACORN
- P3 PAINT OVER STUCCO CEMENT BOARD DUNN EDWARDS COLOR: DE 4337 BLACK TIE LRV 6

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4TH AVENUE - SOUTH ELEVATION 6

SCALE: 1/16" = 1'-0"



S. DELAWARE STREET - EAST ELEVATION 4

SCALE: 1/16" = 1'-0"

KEYNOTES

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- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- 3 RESIDENTIAL NAIL FIN BLACK ALUMINUM WINDOWS
- 4 EXTERIOR INSULATING FINISHING SYSTEM OVER METAL STUD FRAMING
- 5 CEMENT FIBERBOARD PANEL RAIN SCREEN WITH REVEAL OVER METAL STUD FRAME
- 6 GLASS FIBER REINFORCED CONCRETE PANEL OVER METAL STUD FRAME
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 ALUMINUM AND GLASS BALCONY
- 9 ENTRY/EXIT DOOR
- 10 TEMPERED GLAZING GUARDRAIL
- 11 ALUMINUM COMPOSITE METAL
- 12 EXISTING PROPERTY LINE
- 13 EXPRESSED MULLION
- 14 REQUIRED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED. ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING BALUNES AND AIRBOYS
- 15 CENTERLINE OF PUBLIC RIGHT OF WAY
- 16 ENTRY TO BELOW GRADE PARKING STRUCTURE
- 17 SECTIONAL OVERHEAD DOORS
- 18 PATIO METAL TRELLIS SHADE

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- | | | |
|----|---|-------------------------------------|
| E1 | EXTERIOR INSULATING FINISHING SYSTEM | TO MATCH BM 1548 CLASSIC GRAY |
| GF | GLASS FIBER REINFORCED CONCRETE | TO MATCH BM 1552 RIVER REFLECTIONS |
| G1 | GLAZING | TYPE: 1" INSULATED LOW TINT |
| G2 | GLAZING | TYPE: 1" INSULATED GRAY TINT |
| M1 | ALUMINUM SUNSCREEN FINISH TO MATCH | REYNOLDS COLORWELD 500 XL CHARCOAL |
| M2 | ALUMINUM SUNSCREEN OR FIN FINISH TO MATCH | REYNOLDS STONE FINISHES ACID-CORTEN |
| P1 | PAINT OVER STUCCO FINISH TO MATCH | BENJAMIN MOORE BM 1548 CLASSIC GRAY |
| P2 | PAINT OVER STUCCO CEMENT BOARD | BENJAMIN MOORE BM 1125 ACORN |
| P3 | PAINT OVER STUCCO CEMENT BOARD | DUNN EDWARDS DE 537 BLACK TIE LRV 6 |



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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02/22/2021	PRELIM PLANNING SUBMITTAL
04/12/2021	PRELIM PLANNING RESUBMITTAL
07/30/2021	PRELIM PLANNING RESUBMITTAL II
10/01/2021	1ST FORMAL PLANNING SUBMITTAL
12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/29/2022	3RD FORMAL PLANNING SUBMITTAL

BUILDING ELEVATIONS

A3.02

PROJECT NO. 205207



3RD AVENUE - ENLARGED ELEVATION - 3RD AND 4TH LEVEL OFFICE DECKS

SCALE: 3/16" = 1'-0"

10



CORNER OF 3RD AVENUE AND S DELAWARE ST- ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"

12



3RD AVENUE - ENLARGED ELEVATION - OFFICE LOBBY

SCALE: 1/4" = 1'-0"

4



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PLANNING APPLICATION FOR:
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SAN MATEO, CA 94401

DATE	DESCRIPTION
02-22-2021	PRELIM PLANNING SUBMITTAL
06-17-2021	PRELIM PLANNING RESUBMITTAL
07-30-2021	PRELIM PLANNING RESUBMITTAL II
10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-29-2022	3RD FORMAL PLANNING SUBMITTAL

BUILDING ELEVATION DETAILS

A3.03

PROJECT NO. 205207



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02.22.2021	PRELIM. PLANNING SUBMITT
04.21.2021	PRELIM. PLANNING RESUBMITT
07.30.2021	PRELIM. PLANNING RESUBMITT
10-01-2021	1ST FORMAL PLANNING SUBMITT
12-23-2021	2ND FORMAL PLANNING SUBMITT
03-29-2022	3RD FORMAL PLANNING SUBMITT

BUILDING ELEVATION DETAILS

S. CLAREMONT STREET RESIDENTIAL ENTRY - ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"

○

A3.04

PROJECT NO: 2052



SCALE: 3/16" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/8" = 1'-0"



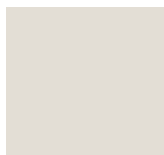
DATE	DESCRIPTION
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09-21-2021	PRIEST PLANNING SUBMITTAL
10-30-2021	PRIEST PLANNING RESUBMITTAL
04-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-12-2020	2ND FORMAL PLANNING SUBMITTAL
03-29-2021	3RD FORMAL PLANNING SUBMITTAL

DATE	DESCRIPTION
02-22-2021	PRELIM. PLANNING SUBMITTAL
04-21-2021	PRELIM. PLANNING RESUBMITTAL
07-30-2021	PRELIM. PLANNING RESUBMITTAL II
10-01-2021	1ST FORMAL PLANNING SUBMITTAL
12-23-2021	2ND FORMAL PLANNING SUBMITTAL
03-29-2022	3RD FORMAL PLANNING SUBMITTAL

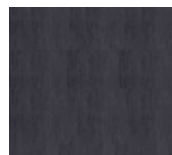
BUILDING ELEVATION DETAILS

A3.05

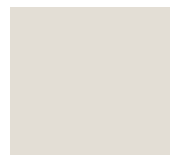
PROJECT NO: 205207



E1



M1



P1



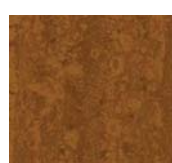
G1



G2



GF



M2



P2

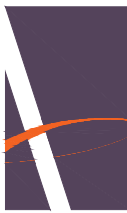


P3

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- E1** PAINT OVER EXTERIOR INSULATING FINISHING SYSTEM
COLOR TO MATCH: BENJAMIN MOORE
MANUFACTURER: 1548 CLASSIC GREY
- GF** PAINT OVER GLASS FIBER REINFORCED CONCRETE
COLOR TO MATCH: BENJAMIN MOORE
MANUFACTURER: 1552 RIVER REFLECTION
- G1** GLAZING*
TYPE: 1" INSULATED
COLOR: LOW TINT
- G2** GLAZING*
TYPE: 1" INSULATED
COLOR: GRAY TINT
- M1** ALUMINUM SUNSCREEN FINISH TO MATCH
MANUFACTURER: REYNOLDS
SERIES: COLORFELD 500 XL
FINISH: CHARCOAL
- M2** ALUMINUM SUNSCREEN OR FIN FINISH TO MATCH
MANUFACTURER: REYNOLDS
SERIES: STONE FINISHES
FINISH: ACERO CORTEN
- P1** PAINT OVER STUCCO FINISH TO MATCH
MANUFACTURER: BENJAMIN MOORE
COLOR: BM 1548 CLASSIC GREY
- P2** PAINT OVER STUCCO CEMENT BOARD
MANUFACTURER: BENJAMIN MOORE
COLOR: BM 1525 ACORN
- P3** PAINT OVER STUCCO CEMENT BOARD
MANUFACTURER: DUNN EDWARDS
COLOR: DE 6357 BLACK TIE LRV 6



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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
02/22/2021	PRELIM PLANNING SUBMITTAL
04/27/2021	PRELIM PLANNING SUBMITTAL
07/30/2021	PRELIM PLANNING SUBMITTAL #2
10/01/2021	1ST FORMAL PLANNING SUBMITTAL
12/23/2021	2ND FORMAL PLANNING SUBMITTAL
03/29/2022	3RD FORMAL PLANNING SUBMITTAL

MATERIAL BOARD

A3.06

PROJECT NO. 205.207

OF

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY



AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY

DATE _____

GENERAL NOTES

1. **BOUNDARY.** BOUNDARY INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF DATED 08/30/2021.
2. **SOURCE OF TOPOGRAPHY.** EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 08/30/2021.
3. **GRADING.** SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.
4. **UTILITIES:** UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.
- A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.
- B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.
- C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
- D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
- E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
8. **FEMA DESIGNED FLOOD ZONE.** FLOOD ZONE 'X'; OTHER AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PER FLOOD INSURANCE RATE MAP NUMBER 06081C0194G DATED 04/05/2019.
9. **LANDSCAPE PLAN.** LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

FIRE DEPARTMENT NOTES

1. A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.
2. IN ACCORDANCE WITH THE MUNICIPAL/ REGIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE TO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SANITARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

UNDERGROUND STORAGE TANKS

1. PRIOR TO BUILDING PERMIT ISSUANCE, THE PROJECT MUST BE SUBMITTED TO THE SAN MATEO COUNTY HEALTH DEPARTMENT FOR REVIEW OF THE PROPOSED REMOVAL OF THE EXISTING UNDERGROUND STORAGE TANK ("UST") AND ASSOCIATED PIPING ON SITE.

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
COUNTY BOUNDARY	---	---
LOT LINE	---	---
CONTOUR LINE	100	100
FENCE	X	X
STORM DRAIN	---	---
SANITARY SEWER	---	SS
WATER MAIN	W	W
FIRE WATER MAIN	FW	FW
GAS LINE	GAS	GAS
JOINT TRENCH	E	E
SANITARY SEWER CLEAN OUT	CO	CO
SANITARY SEWER MANHOLE	SMH	SMH
STORM DRAIN CURB INLET	DI	DI
STORM DRAIN MANHOLE	DMH	DMH
STORMFILTER	DF	DF
DETECTOR CHECK & METER	DCM	DCM
COMPOUND METER	CM	CM
FIRE DEPARTMENT CONNECTION	FD	FD
FIRE HYDRANT	HY	HY
WATER VALVE	WV	WV
MONUMENT	MO	MO
TRANSFORMER	TR	TR
BIKE RACK	BR	BR
STREET LIGHT	SL	SL
INLET PROTECTION	IP	IP
POLE LIGHT	PL	PL
STORM DRAIN CLEAN OUT	CO	CO
STORM DRAIN AREA DRAIN	AD	AD
STORM DRAIN CATCH BASIN	CB	CB
OVERHEAD WIRES	OW	OW
STREET SIGN	TS	TS
SPOT ELEVATION	TC	TC
FRESH AIR INLET	FAI	FAI
WATER METER	WM	WM
BACK FLOW PREVENTER	BFP	BFP
AUXILIARY WATER SUPPLY SYSTEM	AWSS	AWSS
JOINT POLE	JP	JP
TREE	T	T

ABBREVIATIONS

A	DELTA	RW,ROW	RIGHT OF WAY
AB	AGGREGATE BASE	RWC	REDWOOD CITY
AC	ASPHALT CONCRETE	S	SLOPE, SOUTH
ADP	ASBESTOS CEMENT PIPE	SANL	SANITARY
AD	AREA DRAIN	SD	STORM DRAIN
ADJ	ADJACENT	SDCB	STORM DRAIN CATCH BASIN
APP	APPENDIX	SF	SQUARE FEET
APN	ACCESS POINT NAME	SFDPW	SF DEPARTMENT OF PUBLIC WORKS
AWSS	AUXILIARY WATER SUPPLY SYSTEM	SFPUIC	SF PUBLIC UTILITIES COMMISSION
B/W, BW	BACK OF WALK	S.E.P.	SEE ELECTRICAL PLANS
BC	BEGINNING OF CURVE	S/W	SIDEWALK
BCR	BEGINNING CURB RETURN	S.A.D.	SEE ARCHITECTURAL DRAWINGS
BFP	BACKFLOW PREVENTER	SD	STORM DRAIN
BLD, BLDG	BUILDING	SDAD	STORM DRAIN AREA DRAIN
BTM	BOTTOM	SDCO	STORM DRAIN CLEANOUT
BRC	BOTTOM OF RETAINING CURB	SDOI	STORM DRAIN DROP INLET
BVCE	BEGIN VERTICAL CURVE ELEVATION	SDMH	STORM DRAIN MANHOLE
BVCS	BEGIN VERTICAL CURVE STATION	S.F.P.P.	SEE FIRE PROTECTION PLAN
BSW	BACK OF SIDEWALK	SMGP	SOIL & GROUNDWATER MONITORING PLAN
C&G	CURB AND GUTTER	S.J.T.P.	SEE JOINT TRENCH PLANS
CB	CATCH BASIN	SL	STREET LIGHT
CCP	CONCRETE CYLINDER PIPE	SLB	STREET LIGHT BOX
CL, &	CENTER LINE	S.L.P.	SEE LANDSCAPE PLANS
CLR	CLEARANCE	SEE PLUMBING PLANS	
CO	CLEANOUT	SS	SANITARY SEWER
COMM	CONCRETE	SSCO	SANITARY SEWER CLEANOUT
CONC	CORNER	SMH	SANITARY SEWER MANHOLE
COR	COMBINED SEWER	ST	STREET
CS	COMBINED SEWER MANHOLE	STA	STATION
CSMH	CABLE TELEVISION	STD	STANDARD
CATV, CTV	DOUBLE CHECK DETECTOR ASSEMBLY	T&G	TONGUE AND GROVE
DSDA	DROP INLET	TBD	TO BE DETERMINED
DI	DIAMETER	TC	TOP OF CURB
DIA	DRAINAGE MANAGEMENT AREA	TP	TOP OF PAVEMENT
DMA	DOCUMENT	TRANS	TRANSFORMER
DOC, DU	DOMESTIC WATER	TRC	TOP OF RETAINING CURB
DW	DRAINAGE	TSB	TRAFFIC SIGNAL BOX
DRAWG	DRIVEWAY	TTC	THEORETICAL TOP OF CURB
DWY	EAST	TWELL	TREE WELL
E	ELECTRIC	TYP	TYPICAL
E, ELEC	EASEMENT	VC	VERTICAL CURVE
EASE, ESMT	ELECTRIC BOX	V, VERT	VERTICAL
EB	END OF CURVE	VG	VALLEY GUTTER
EC	EXTRUDED CONCRETE CURB	UB	UTILITY BOX
ECC	END CURB RETURN	U.C.D.	UNDERGROUND COMMERCIAL DISTRIBUTION
ECR	EXISTING GROUND	USA	UNDERGROUND SERVICE ALERT
EL, ELEV	ELEVATION	W	WATER, WEST
EM	ELECTRIC METER	WM	WATER METER
EP	EDGE OF PAVEMENT	WV	WATER VALVE
EVCE	END VERTICAL CURVE ELEVATION	W/	WITH
EVCS	END VERTICAL CURVE STATION		
EX, EXIST	EXISTING		
FC	FACE OF CURB		
FDC	FIRE DEPARTMENT CONNECTION		
FF	FINISHED FLOOR		
FG	FINISHED GRADE		
FH	FIRE HYDRANT		
FL	FLOWLINE		
FNC	FENCE		
FO	FIBER OPTIC CABLE		
FS	FIRE SERVICE		
FT	FEET		
FW	FIRE WATER		
G	GAS		
GB	GRADE BREAK		
GM	GAS METER		
GND	GROUND		
GPM	GALLONS PER MINUET		
GR	GRATE, GRATE ELEVATION		
GV	GATE VALVE		
H&ASP	HEAVY SAFETY PLAN		
HCAP	HANDICAPPED		
HC, HCR	HANDICAP RAMP		
HDPCL	HIGH DENSITY POLYETHYLENE		
HP	HIGH POINT		
H, HORZ	HORIZONTAL		
ID	INNER DIAMETER		
INV	INVERT		
IRR	IRRIGATION		
JP	JOINT POLE		
JT	JOINT TRENCH		
L	LENGTH		
L/C, LS	LANDSCAPE		
LF	LINEAR FEET		
LG	LIP OF GUTTER		
LID	LOW IMPACT DEVELOPMENT		
LOW	LIMIT OF WORK		
LT	LIGHT		
LSOP	LANDSCAPE		
LT	LIGHT		
MAX	MAXIMUM		
MB	MAIL BOX		
MIN	MINIMUM		
MH	MANHOLE		
MPWD	MID-PENINSULA WATER DISTRICT		
N	NORTH		
NTS	NOT TO SCALE		
NO.	NUMBER		
OC	OFF CENTER		
OD	OUTSIDE DIAMETER		
OH	OVERHEAD		
OR, O.R.	OFFICIAL RECORD		
PCC	PORTLAND CEMENT CONCRETE		
PDL	PEDESTAL		
PRC	POINT OF REVERSE CURVATURE		
PCL	PARCEL		
PERF	PERFORATED		
P&E	PACIFIC GAS & ELECTRIC		
PKG	PARKING		
PL	PROPERTY LINE		
PM	PARKING METER		
POC	POINT OF CONNECTION		
PR	PROPOSED		
PRC	POINT OF COMPOUND CURVE		
PUE	PUBLIC UTILITY EASEMENT		
PVC	POLYVINYL CHLORIDE		
PVI	POINT OF VERTICAL INFLECTION		
R	RADIUS, RIGHT OF ALIGNMENT LINE		
RCP	REINFORCED CONCRETE PIPE		
RM	RELATIVE COMPACTION		
RC	RELATIVE COMPACTION		
RFL	ROOF LEADER		

SYMBOL LEGEND

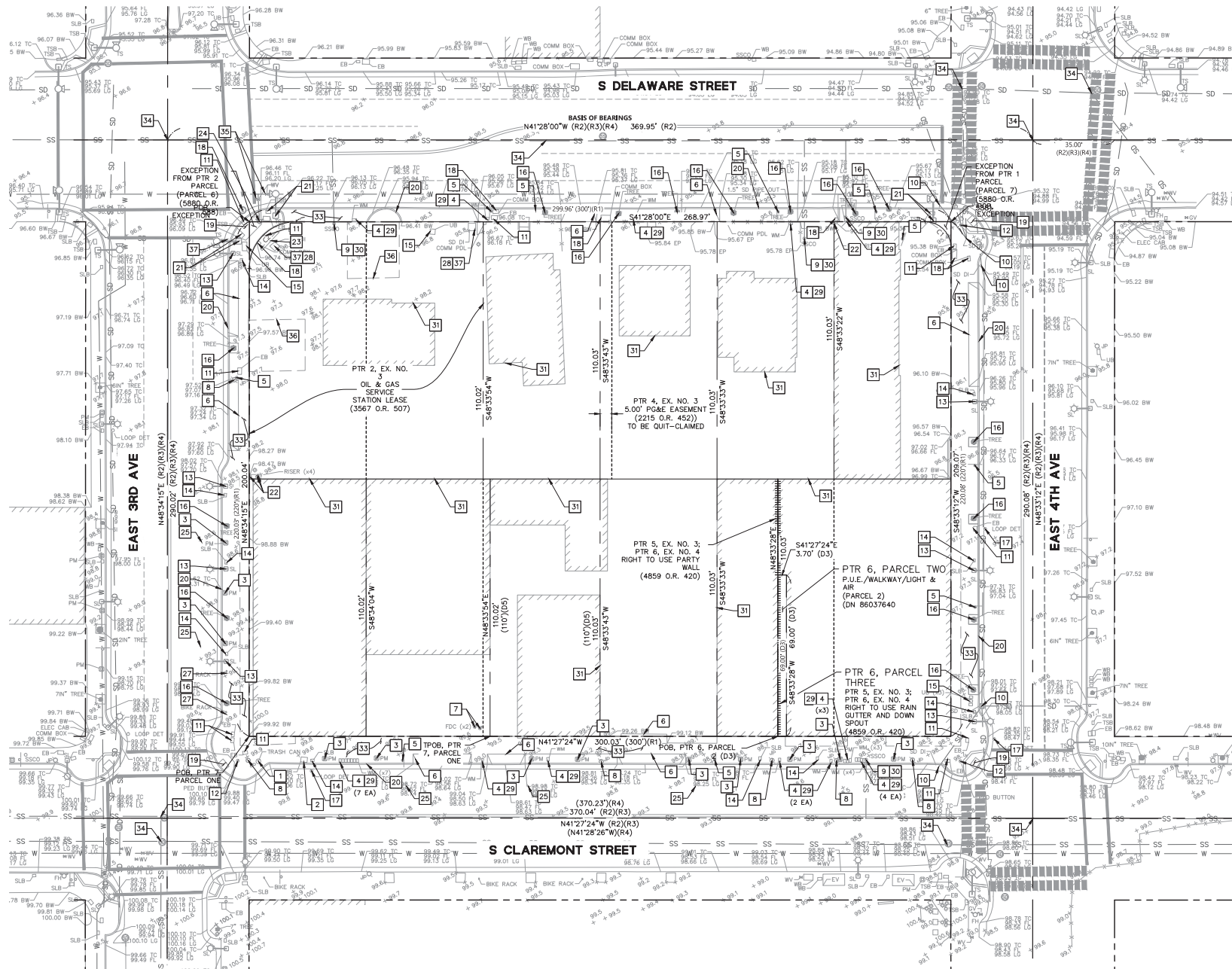
SYMBOL	DESCRIPTION
	DETAIL SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL I
12/22/2021	PLANNING SUBMITTAL II
02/07/2022	FINAL SUBMITTAL

NOTES, LEGEND & ABBREVIATIONS



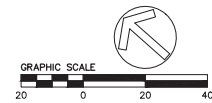
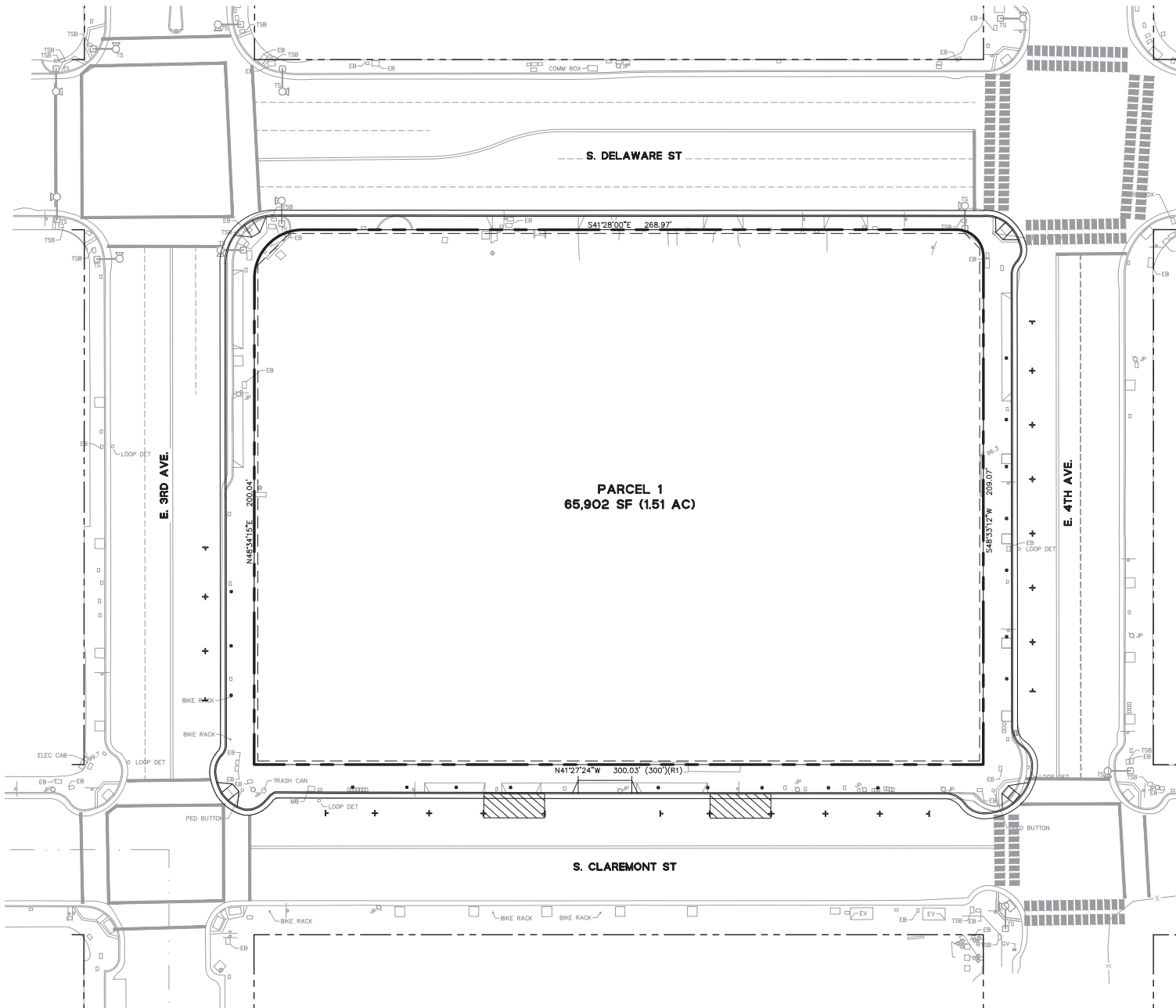
EXISTING CONDITIONS KEY NOTES

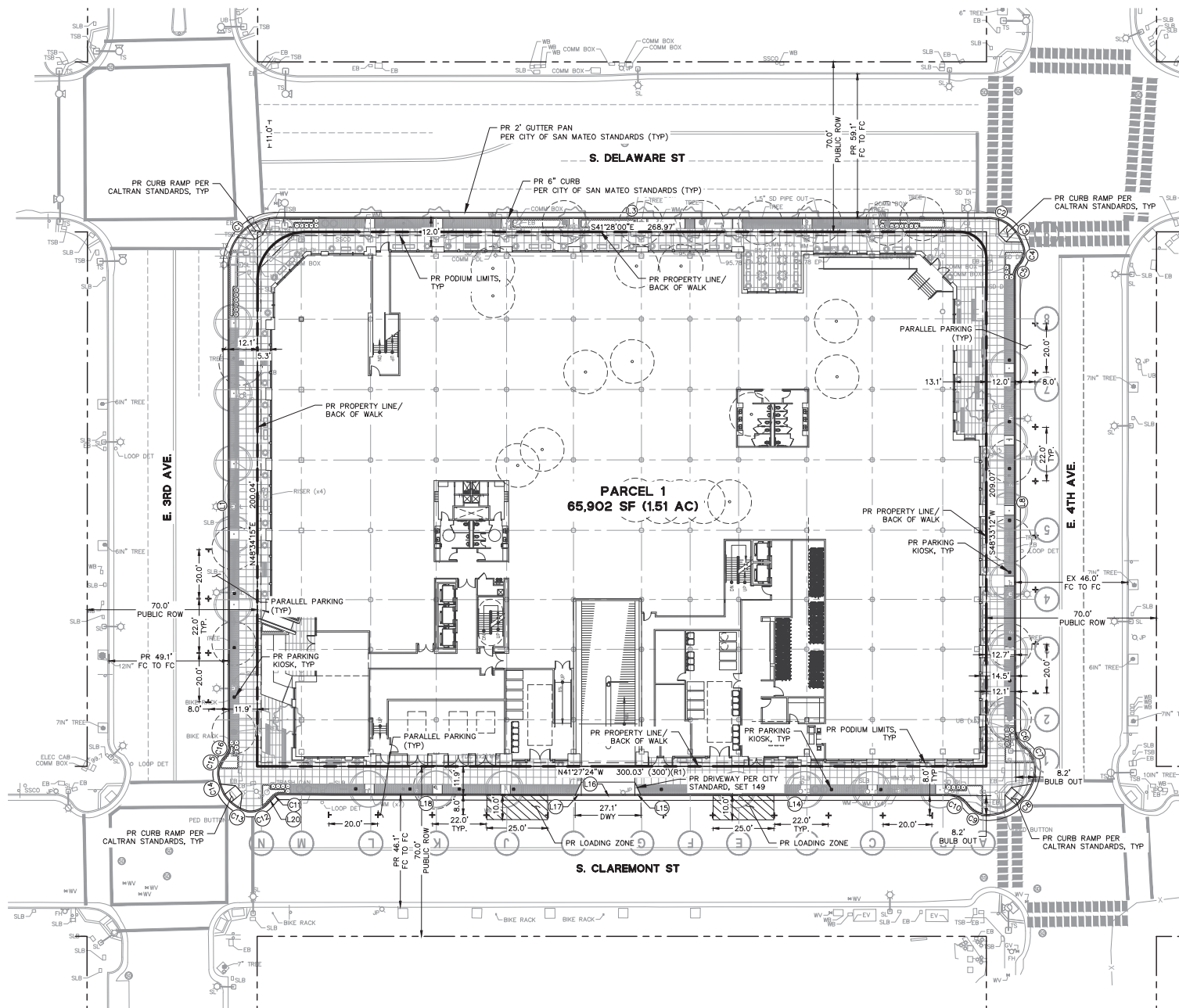
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- 2 MAILBOX, TO BE REMOVED
- 3 PARKING METER, TO BE REMOVED
- 4 WATER METER, TO BE REMOVED TYP
- 5 STREET SIGN, TO BE REMOVED
- 6 DRIVEWAY, TO BE REMOVED
- 7 FIRE DEPARTMENT CONNECTION, TO BE REMOVED
- 8 JOINT POLE, TO REMAIN IN PLACE
- 9 SANITARY SEWER CLEAN OUT, TO BE REMOVED
- 10 STORM DRAIN CATCH BASIN, TO REMAIN IN PLACE
- 11 ELECTRICAL BOX, TO REMAIN IN PLACE
- 12 PEDESTRIAN BUTTON, TO REMAIN IN PLACE
- 13 STREET LIGHT, TO BE RELOCATED, S.J.T.P.
- 14 STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
- 15 UTILITY BOX, TO BE REMOVED
- 16 TREE, TO BE REMOVED
- 17 LOOP DETECTOR, TO REMAIN IN PLACE
- 18 TELECOM BOX, TO BE REMOVED
- 19 CURB RAMP, TO BE REMOVED AND REPLACED
- 20 CURB AND GUTTER, TO BE REMOVED AND REPLACED
- 21 TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE
- 22 ELECTRICAL RISER, TO BE REMOVED
- 23 ELECTRICAL SIGN, TO BE REMOVED
- 24 FIRE HYDRANT, TO BE REMOVED
- 25 PARKING STRIPING, TO BE REMOVED
- 26 NOT USED
- 27 BIKE RACK, TO BE REMOVED
- 28 STORM DRAIN PIPE, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
- 29 WATER PIPE, TO BE CUT, CAPPED, AND ABANDONED AT THE MAIN
- 30 SANITARY SEWER, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
- 31 BUILDING, TO BE REMOVED
- 32 NOT USED
- 33 SIDEWALK, TO BE REMOVED TYP
- 34 MANHOLE, TO REMAIN
- 35 WATER VALVE, TO BE REMOVED
- 36 GAS STATION OVERHANG, TO BE REMOVED
- 37 STORM DRAIN CATCH BASIN, TO BE REMOVED

EXISTING CONDITIONS NOTES

1. ALL EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY TO BE QUIT-CLAIMED.



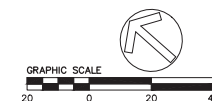


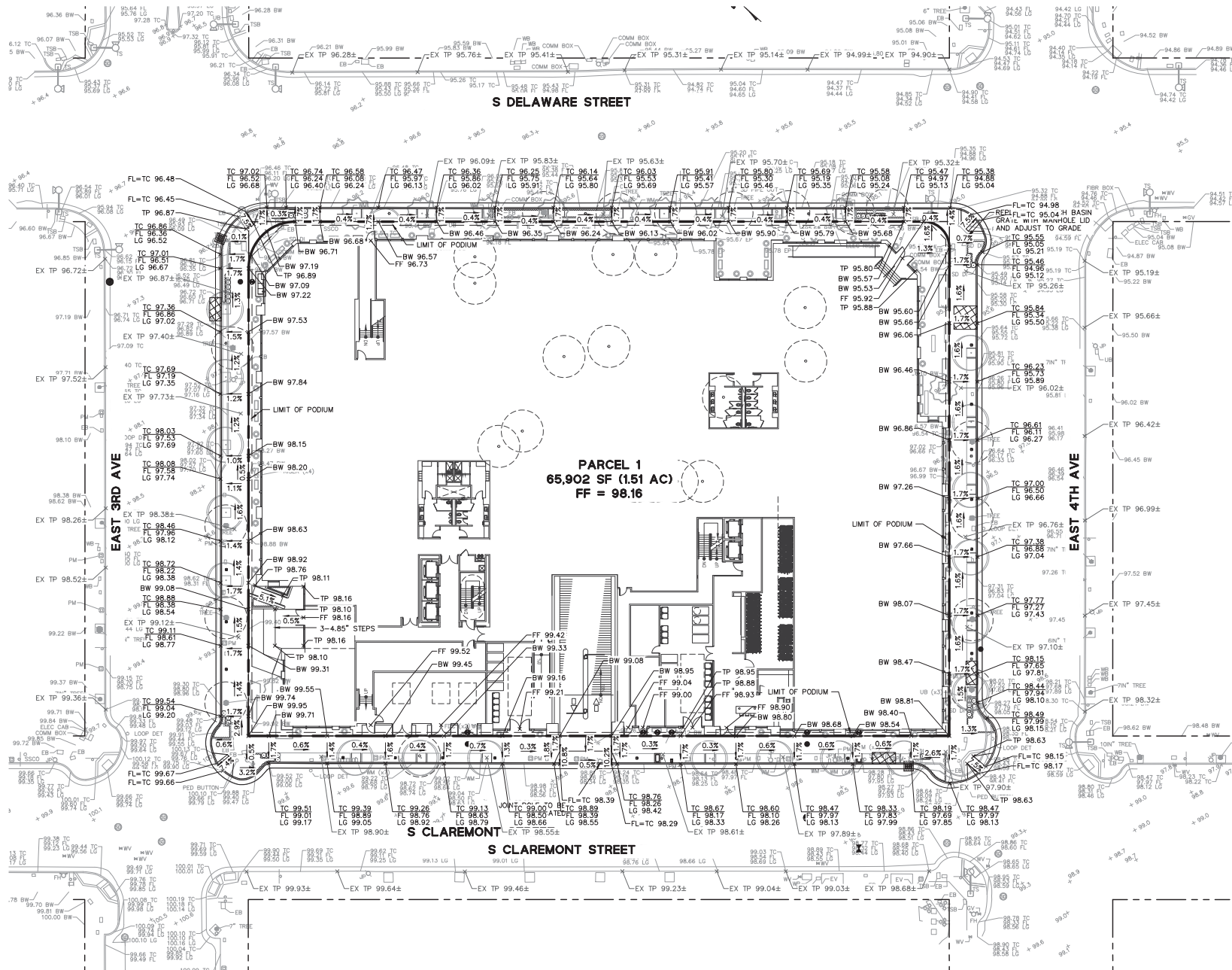


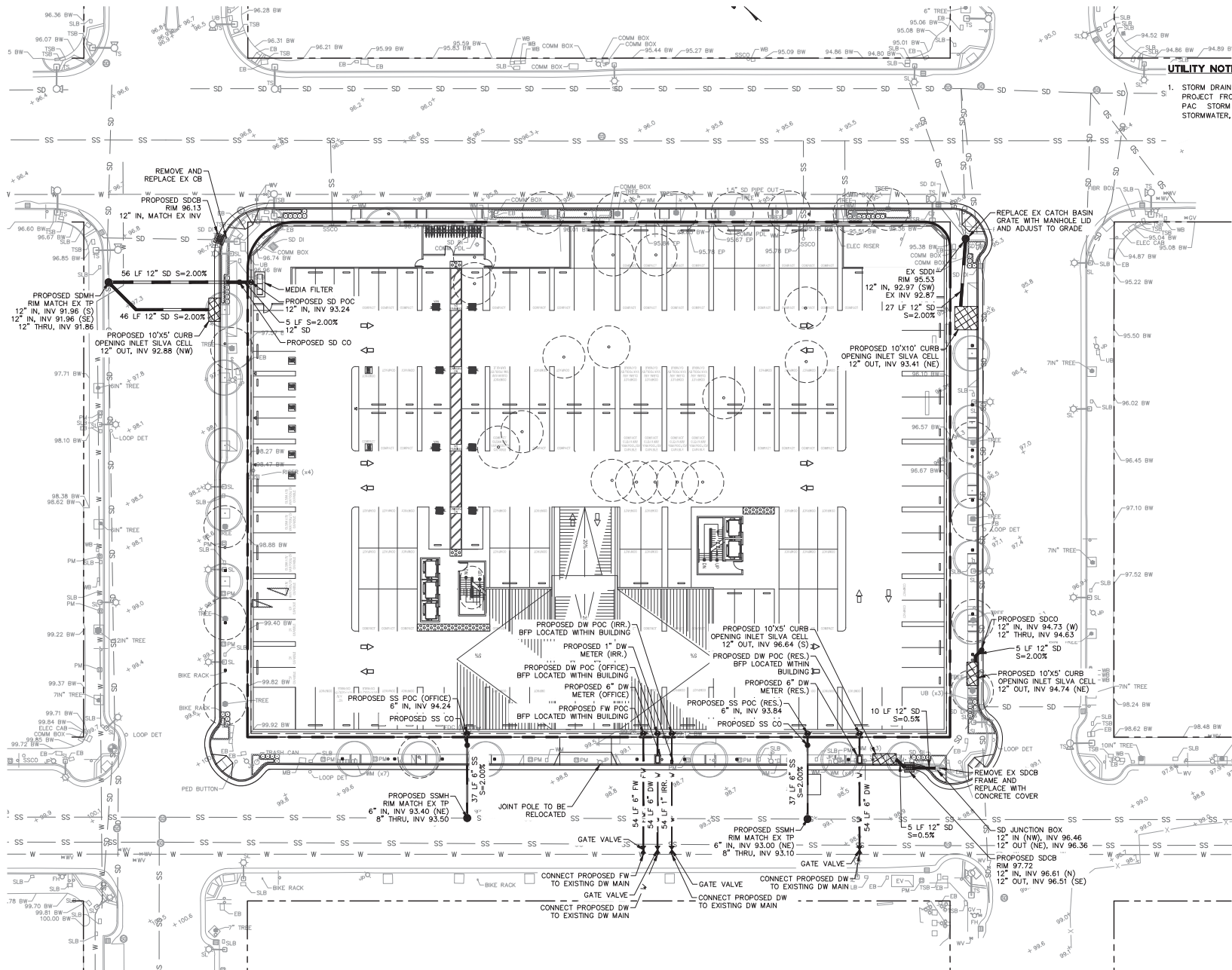
LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	197.66	N48°29'12"E
L3	292.50	S41°25'46"E
L8	185.78	S48°29'16"W
L14	125.75	N41°25'57"W
L15	3.00	N41°25'19"W
L16	22.06	N41°25'31"W
L17	3.00	N41°23'48"W
L18	121.63	N41°19'50"W
L20	2.70	N89°21'38"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	31.45	20.00	090°05'01"
C2	9.95	13.44	042°23'10"
C3	9.94	17.40	032°43'33"
C4	8.43	7.35	065°41'14"
C5	6.00	7.51	045°48'22"
C6	9.37	10.00	053°41'57"
C7	9.39	10.00	053°49'41"
C8	31.42	20.00	090°00'00"
C9	9.42	10.00	053°57'29"
C10	9.42	10.00	053°57'41"
C11	2.82	5.76	028°05'53"
C12	9.52	9.92	054°56'59"
C13	12.39	16.76	042°22'34"
C14	7.95	22.16	020°32'25"
C15	9.40	10.28	052°23'53"
C16	4.41	5.42	046°40'09"

MARKED STREET PARKING		
STREET NAME	NO. OF EXISTING STALLS	NO. OF PROPOSED STALLS
E. 4TH AVE.	0	7
S. CLAREMONT ST	9	9
E. 3RD AVE.	3	3
S. DELAWARE ST	0	0
TOTAL	12	19



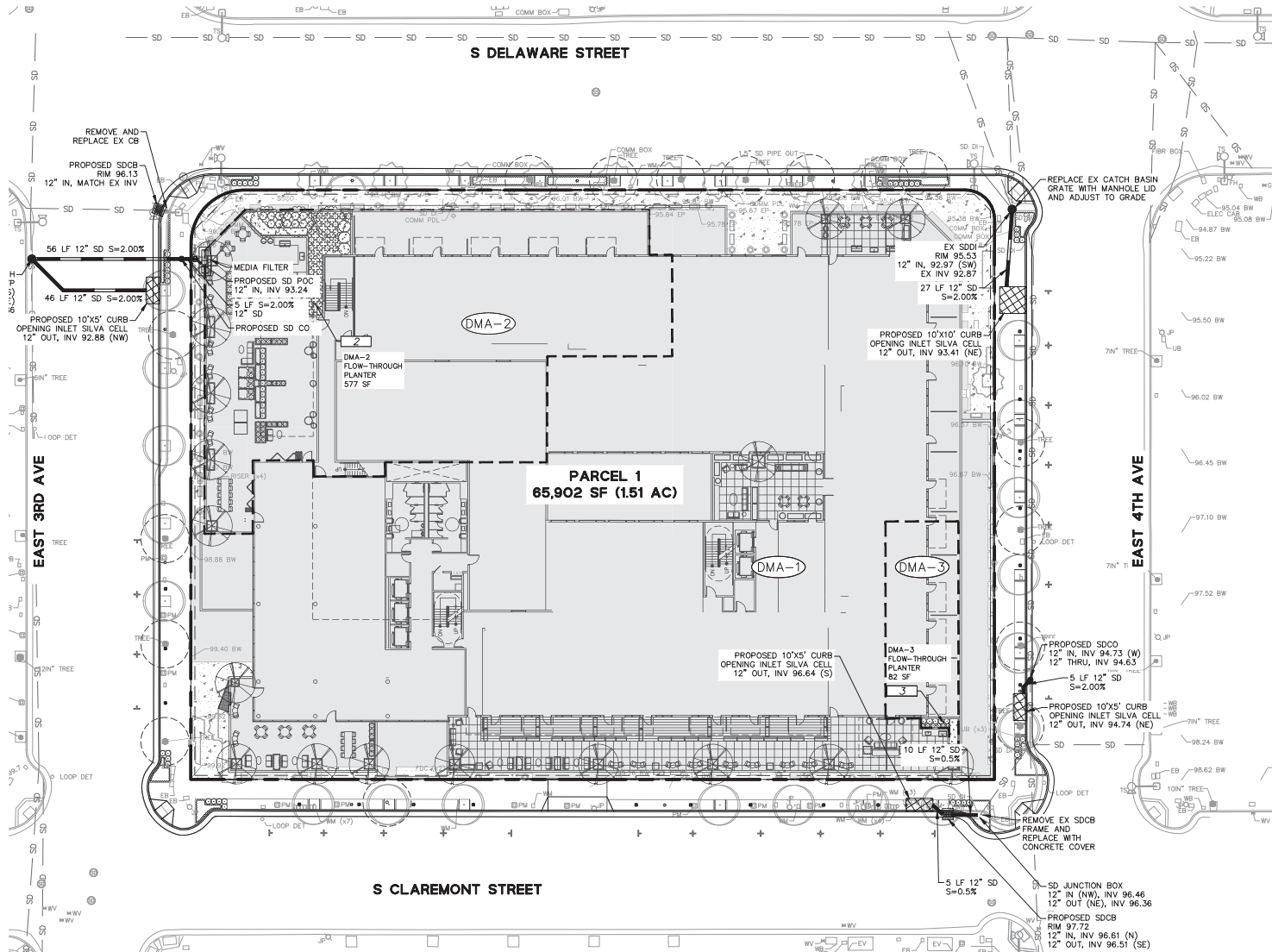




UTILITY NOTES:

1. STORM DRAIN CATCH BASINS AND DROP INLETS ALONG PROJECT FRONTAGE TO BE RETROFITTED WITH DRAIN PAC STORM DRAIN FILTER INSERTS BY UNITED STORMWATER, INC. OR EQUAL.





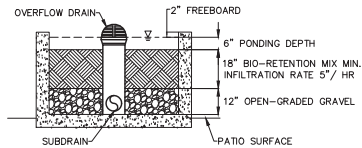
- LEGEND**
- LANDSCAPE
 - DRAINAGE MANAGEMENT BOUNDARY
 - ROOF
 - SIDEWALK
 - FLOW-THROUGH PLANTER

FLOW-THROUGH PLANTER TREATMENT AREA							
DRAINAGE AREA	DRAINAGE AREA (SQ FT)	PERVIOUS AREA (SQ FT)	PERVIOUS AREA (SQ FT)	EFFECTIVE IMPERVIOUS AREA (SQ FT)	REQUIRED TREATMENT AREA (SQ FT) / FLOW (CFS)	PROVIDED TREATMENT AREA (SQ FT) / FLOW (CFS)	PROPOSED TREATMENT CONTROLS
DA-1	48,867	48,840	27	48,842	0.201 (CFS)	0.201 (CFS)	NON-LID: MEDIA FILTER
DA-2	14,953	14,375	577	14,433	575 (SF)	577 (SF)	LID: FLOW-THROUGH PLANTER
DA-3	2,082	2,000	82	2,001	80 (SF)	82 (SF)	LID: FLOW-THROUGH PLANTER
TOTAL	65,902	65,215	687	65,284			

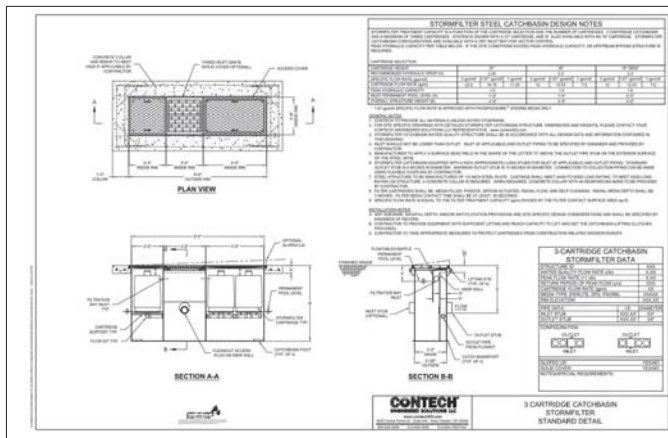
*THE EFFECTIVE IMPERVIOUS SURFACE AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA AND 0.1 X THE TOTAL PERVIOUS AREA, EXCLUDING THE TREATMENT AREA.

LID TREATMENT AREA SUMMARY			
NON-LID TREATED DRAINAGE AREA	DA-1: 48,868 (SF)	PERCENTAGE (75% ALLOWED)	74%
LID TREATED DRAINAGE AREA	DA-2 + DA-3: 17,035 (SF)	PERCENTAGE	26%





1 TYPICAL FLOW-THROUGH PLANTER ON PODIUM



2 MEDIA FILTER

CONSTRUCTION STORMWATER BMP NOTES

- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR 'RUN OVER.'
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE 'OFF-SEASON.'
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

SOURCE CONTROL NOTES

- STORM DRAIN: MARK ON-SITE INLETS WITH THE WORDS 'NO DUMPING' FLOWS TO BAY' OR EQUIVALENT.
- LANDSCAPING:
 - RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.

ARC TEC
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BKF
150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 932-7700
www.bkf.com

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE	DESCRIPTION
10/01/2021	PLANNING SUBMITTAL
12/22/2021	PLANNING SUBMITTAL II
02/09/2022	FINAL SUBMITTAL

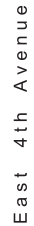
PRELIMINARY
STORMWATER
CONTROL NOTES

C6.02

PROJECT NO. 205207



Existing Trees to be removed
Number corresponds to Tree Evaluation Schedule provided in Arborist's Report



Tree#	Species	DBH	CON	HT/SP	Comments
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1P/R	Australian willow	18.3	20	30/20	Poor vigor, poor form, struck by vehicle in
------	-------------------	------	----	-------	---

Kiely Arborist Services LLC

Certified Arborist WES0476A
P.O. Box 4187
San Mateo, CA 94403
(650-713-4763)

October 6th, 2021

Lisa Ring, ACP
LOR Planning & Environmental Consulting, INC.
One Black 71 Project, San Mateo CA
Dear Mr. Ring,

As requested on Wednesday, February 6th 2021, and again on Wednesday, September 22nd, 2021, I visited the above site to inspect and comment on the trees. A large development project is proposed on this block and will require the removal of all of the surveyed trees. A L1 evaluation, plant and tree reporting form can be found within this report. The most common plant has been removed for writing this report. No neighboring bearings trees will have construction performed within a radius equal to ten times the diameter of the tree trunk.

Method:
All inspections were made from the ground, the trees were not climbed for this inspection. The trees in question were located on one plot 31 dated February 2018. The trees were then measured for diameter at 41 inches above ground level (DDB) or diameter at breast height. The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale:

1 - 20 Very Poor
30 - 40 Poor
50 - 60 Fair
70 - 80 Good
90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 150 Dippermeter. The spread was measured off. Comments and recommendations for future maintenance are provided.

Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
1	Australian Willow	Good	Good	Good	18.3	20	30x20	Tree in poor vigor, struck by vehicle in 2018, decay on trunk, more than 50% of crown gone, included back at 7' Street tree.
2	Australian Willow	Good	Good	Good	15.9	30	30x20	Fair vigor, poor form, codominant at 10 feet with included back, street tree.
3	Australian Willow	Good	Good	Good	19.4	30	30x20	Fair to poor vigor, fair form, codominant at 8 feet with included back, street tree.
4	Australian Willow	Good	Good	Good	27.2	40	35x30	Poor vigor, poor form, decay on trunk, multi leader at 8 feet with included back, street tree.
5	Australian Willow	Good	Good	Good	18.3	40	30x20	Fair vigor, fair form, area of decay on trunk, street tree.
6	Australian Willow	Good	Good	Good	21.3	30	35x30	Poor vigor, poor form, codominant at 5 feet with included back, decay on trunk and codominant leader.
7	Australian Willow	Good	Good	Good	15.9	30	20x15	Poor vigor, poor form, topped in past, in decline, street tree.
8	Hackberry	Good	Good	Good	10.7	40	30x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, root crown rotten, topped in past, street tree.
9	Hackberry	Good	Good	Good	8.0	50	30x15	Fair vigor, fair form, topped in past, street tree.
10	Hackberry	Good	Good	Good	9.2	40	25x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, topped in past, street tree.
11	Hackberry	Good	Good	Good	10.8	40	30x20	Fair vigor, poor form, girdled by tree grass, topped, street tree.
12	Water gum	Good	Good	Good	6.1	70	12x10	Good vigor, good form.
13	Hackberry	Good	Good	Good	6.4	40	20x15	Good vigor, poor form, street tree, topped in past.

Showing 11' values, street trees 11, 12, & 13 are not to be included in reporting.
Total value of L1 not including street trees=86.3



The remaining trees are not of a protected size in the city of San Mateo.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
Kevin Kiely Certified Arborist WES0476A

Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
14	Australian Willow	Good	Good	Good	18.3	20	30x20	Tree in poor vigor, struck by vehicle in 2018, decay on trunk, more than 50% of crown gone, included back at 7' Street tree.
15	Australian Willow	Good	Good	Good	15.9	30	30x20	Fair vigor, poor form, codominant at 10 feet with included back, street tree.
16	Australian Willow	Good	Good	Good	19.4	30	30x20	Fair to poor vigor, fair form, codominant at 8 feet with included back, street tree.
17	Australian Willow	Good	Good	Good	27.2	40	35x30	Poor vigor, poor form, decay on trunk, multi leader at 8 feet with included back, street tree.
18	Australian Willow	Good	Good	Good	18.3	40	30x20	Fair vigor, fair form, area of decay on trunk, street tree.
19	Australian Willow	Good	Good	Good	21.3	30	35x30	Poor vigor, poor form, codominant at 5 feet with included back, decay on trunk and codominant leader.
20	Australian Willow	Good	Good	Good	15.9	30	20x15	Poor vigor, poor form, topped in past, in decline, street tree.
21	Hackberry	Good	Good	Good	10.7	40	30x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, root crown rotten, topped in past, street tree.
22	Hackberry	Good	Good	Good	8.0	50	30x15	Fair vigor, fair form, topped in past, street tree.
23	Hackberry	Good	Good	Good	9.2	40	25x20	Fair vigor, poor form, decay at root crown, girdled by tree grass, topped in past, street tree.
24	Hackberry	Good	Good	Good	10.8	40	30x20	Fair vigor, poor form, girdled by tree grass, topped, street tree.
25	Water gum	Good	Good	Good	6.1	70	12x10	Good vigor, good form.
26	Hackberry	Good	Good	Good	6.4	40	20x15	Good vigor, poor form, street tree, topped in past.

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Sincerely,
Kevin Kiely Certified Arborist WES0476A

Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
27	Hackberry	Good	Good	Good	1.0	41	25x15	Fair to poor vigor, fair form, decay, street tree.
28	Hackberry	Good	Good	Good	9.6	40	25x15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree.
29	Hackberry	Good	Good	Good	9.4	40	25x15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree.
30	Hollywood Juniper	Good	Good	Good	7.3	50	15x10	Fair vigor, fair form, against building.
31	Hollywood Juniper	Good	Good	Good	8.5	50	15x10	Fair vigor, fair form, against building.
32	American Elm	Good	Good	Good	12.12-15.19	50	30x20	Fair vigor, poor form, multi leader at 2 feet with included back.
33	Australian Cherry	Good	Good	Good	4.0	30	9x5	Poor vigor, poor form, in decline.
34	Australian Cherry	Good	Good	Good	6.0	30	9x5	Poor vigor, poor form, in decline.
35	Lennox	Good	Good	Good	6.0	40	12x10	Poor vigor, poor form, in decline.
36	Arbutus	Good	Good	Good	6.0	50	12x10	Fair vigor, fair form.
37	English Walnut	Good	Good	Good	16.3	30	30x20	Poor vigor, poor form, in decline.
38	Plum	Good	Good	Good	8.8-12.10	30	30x20	Poor vigor, poor form, in decline.
39	Australian Cherry	Good	Good	Good	12.11-16.8	30	35x30	Good vigor, poor form, multi leader at grade, spread small remaining wall.
40	Big leaf maple	Good	Good	Good	7.8	30	15x15	Fair vigor, poor form, against remaining wall.

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Sincerely,
Kevin Kiely Certified Arborist WES0476A

Tree ID	Species Name	Form	Vitality	Condition	DBH	Height	Spread	Notes
41	American Elm	Good	Good	Good	15-15.66	40	40x20	Fair vigor, fair form, codominant at 7 feet.
42	American Elm	Good	Good	Good	40x20	40	40x20	Fair vigor, fair form, codominant at base.
43	California Poplar	Good	Good	Good	15x45	40	20x15	Fair vigor, poor form, heavily decayed trunk, improved.
44	American Elm	Good	Good	Good	40x40	40	25x15	Fair vigor, poor form, heavily decayed trunk, improved.

Showing 11' values, street trees 11, 12, & 13 are not to be included in reporting.
Total value of L1 not including street trees=86.3



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The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
Kevin Kiely Certified Arborist WES0476A



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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE: 10/22/2021
DESCRIPTION: PLANNING SUBMITTAL
10/26/2021 PLANNING SUBMITTAL
10/26/2021 PLANNING SUBMITTAL

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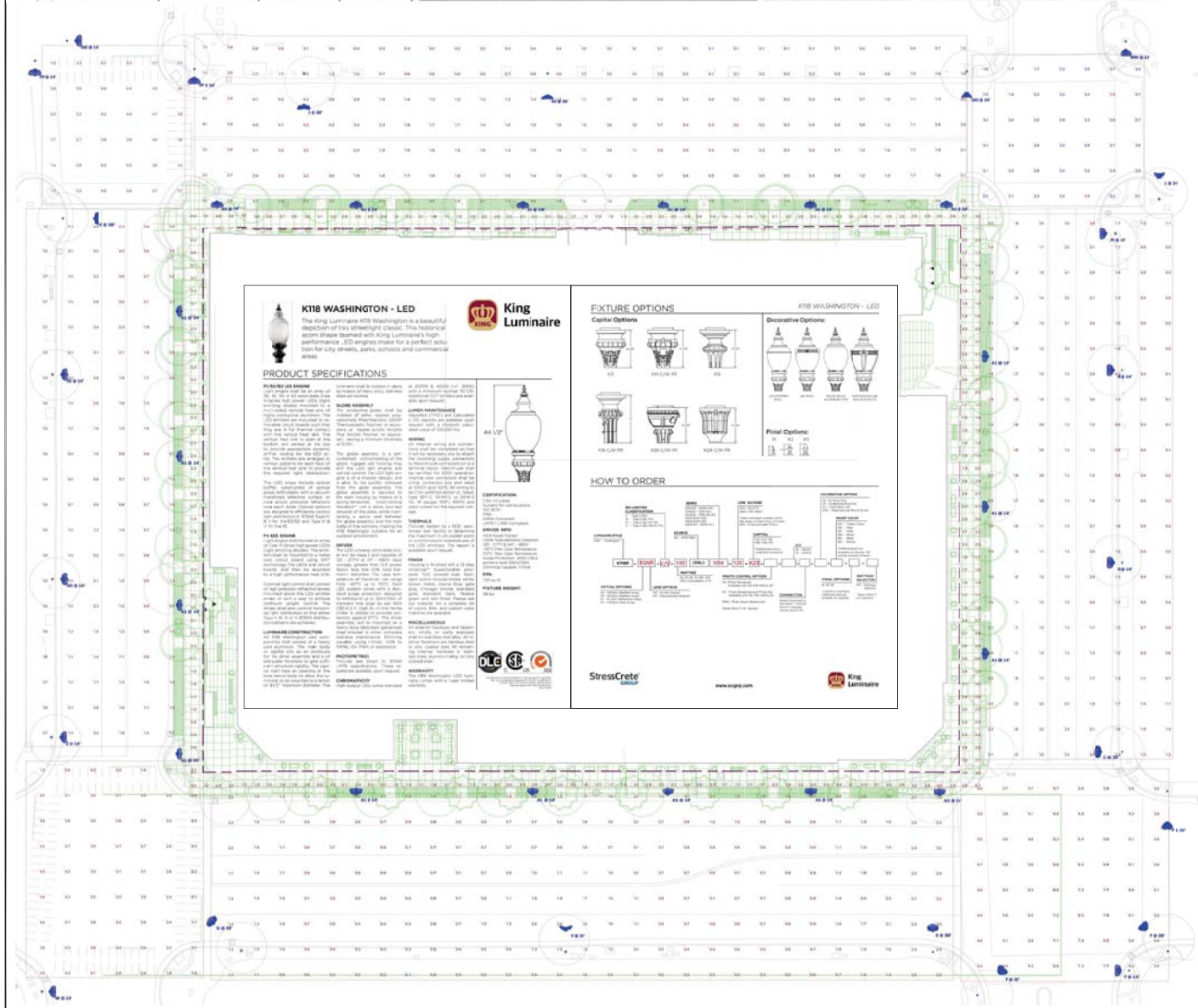
10/26/2021 PLANNING SUBMITTAL
10/26/2021 PLANNING SUBMITTAL

10/26/2021 PLANNING SUBMITTAL
10/26/2021 PLANNING SUBMITTAL

- | Analysis Zone | Pavement Average Horizontal Illuminance (fc)
L_{avg} | Average Uniformity Ratio
L_{avg}/L_{min} | Maximum Uniformity Ratio
L_{max}/L_{min} |
|----------------------------|---|---|---|
| 4 th Ave – Road | 1.7 | 3.0 | 5.0 |
| 3 rd Ave – Road | 1.7 | 3.0 | 5.0 |
| Claremont St – Road | 1.1 | 3.0 | 5.0 |
| Delaware St – Road | 1.7 | 3.0 | 5.0 |

4 th Ave - Sidewalk	0.9	4.0	NA
3 rd Ave - Sidewalk	0.9	4.0	NA
Claremont St - Sidewalk	0.9	4.0	NA
Delaware St - Sidewalk	0.9	4.0	NA
3 rd Ave / Delaware St	3.2	3.0	NA
3 rd Ave / Claremont St	2.7	3.0	NA
4 th Ave / Delaware St	3.2	3.0	NA
4 th Ave / Claremont St	2.7	3.0	NA

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone @ 3RD & S. DELAWARE	+	3.5 fc	5.8 fc	1.2 fc	4.8:1	2.9:1
Calc Zone @ S. DELAWARE & 4TH	+	2.7 fc	3.9 fc	1.7 fc	2.3:1	1.6:1
Calc Zone @ CLAREMONT & 4TH	+	5.2 fc	8.5 fc	3.0 fc	2.8:1	1.7:1
Calc Zone @ 3RD & CLAREMONT	+	3.0 fc	4.8 fc	1.6 fc	3.0:1	1.9:1
Calc Zone @ 3RD	+	1.6 fc	5.3 fc	0.2 fc	26.5:1	8.0:1
Calc Zone @ 4TH	+	1.4 fc	3.8 fc	0.1 fc	38.0:1	14.0:1
Calc Zone @ CLAREMONT	+	1.1 fc	3.2 fc	0.1 fc	32.0:1	11.0:1
Calc Zone @ S. DELAWARE	+	1.4 fc	4.8 fc	0.1 fc	48.0:1	14.0:1
Calc Zone @ SIDEWALK	+	2.3 fc	4.8 fc	1.1 fc	4.4:1	2.1:1

[illegible]