

Planning Submittal For:

# **BLOCK 21**

E 3RD AVENUE & S DELAWARE STREET SAN MATEO, CA 94401



# PROJECT DATA

PROJECT ADDRESS: E 3RD AVENUE & S DELAWARE STREET SAN MATEO, CA 94401

# PROJECT DESCRIPTION

THIS IS A NEW 260,98 S.F. 6-STORY OFFICE AND RESIDENTIAL BUILDING WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 65,888 S.F. LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORRECTIVE BUILDING THE SECRET RESIDENTIAL COMPONENT AS WELL AS SITE IMPROVEMENTS SUCH AS SIDENWALS, CURRIGHTER, BUYCLE RANKS, STREET TREES, ETC.

# APPLICABLE CODES

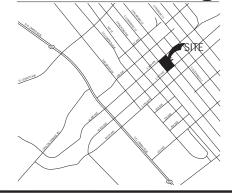
2019 CALE ORNA BUILDING CODE (COR TITLE 24, PART 2)
2019 CALESONIA ELECTRIC CODE (COR TITLE 24, PART 3)
2019 CALESONIA CALESTRACIO CODE (COR TITLE 24, PART 4)
2019 CALESONIA CA

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BUILLETIN 10-03.

# **PROJECT TEAM**

WINDY HILL PROPERTY VENTURES 530 Emerson Street, Suite 150 Palo Alto, CA 94301

# VICINITY MAP



### DRAWING INDEX AND ISSUE DATES

PRELIMINARY OR PRICING PLANS
 FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
 MODIFICATIONS SINCE PREVIOUS ISSUE

COVER SHEET ARCHITECTURAL

NEIGHBORHOOD CONTEXT PHOTOS
STIC CONTEXT PHOTOS
PLANNING EPERTIMENT AREA CALCULATIONS
OFFICE OPEN SPACE AREA DAGGRAMS
RESIDENTIAL USABLE OPEN SPACE DAGGRAMS
BUILDING CODE PROJECT DATA
EGRESS DIAGRAMS
EGRESS DIAGRAMS
EGRESS DIAGRAMS DEMOLITION SITE PLAN SITE PLAN SOLAR SHADOW STUDY FIRST LEVEL PLAN SECOND LEVEL PLAN THIRD LEVEL PLAN FOURTH LEVEL PLAN FIFTH LEVEL PLAN SIXTH LEVEL PLAN BI LEVEL PLAN BI LEVEL PLAN B2 LEVEL PLAN

A4.01 BUILDING SECTIONS

CIVIL

TITLE SHEET
NOTES, LEGENIOS & ABBREVIATIONS
EXISTING CONDITIONS
PRELIMINARY PIRACEL IMAP
HORIZONTAL CONTROL PLAN
GRADINS PLAN
UTILITY PLAN
STORMWATER CONTROL PLAN
STORMWATER CONTROL DETAILS

# LANDSCAPE

STREET LIGHTING

ELECTRICAL SITE LIGHTING - PHOTOMETRIC CALCULATIONS

ARC TEC

SAN MATEO, CA 94401 **DELAWARE STREET** 

Planning Submittal for: **BLOCK** 

PROJECT NUMBER:

S

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3RD AVENUE



VIEW AT 3RD AND S. CLAREMONT ST

RENDERINGS

A 0.01

WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401





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. PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401

TE DESCRIPTION
101 PRELIM PLANNING SUBMIT
1021 PRELIM PLANNING RESUBNIT
1021 PST FORMAL PLANNING SUBMIT
1021 IST FORMAL PLANNING SUBMIT

RENDERINGS

ENLARGED DETAIL AT ENTRY LOBBY

A 0.02

PROJECT NO: 20520



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

RENDERINGS



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

RENDERINGS



PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401

RENDERINGS



WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

VIEW AT 4TH AND S. DELAWARE ST.

RENDERINGS



RENDERINGS

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION
PRELIM PLANNING SUBMITTAL
PRELIM PLANNING RESUBMITTAL
PRELIM PLANNING RESUBMITTAL
1ST FORMAL PLANNING SUBMITTAL

RENDERINGS



PEDESTRIAN VIEW-4TH AVE

RENDERINGS

A 0.09

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401



RESIDENTIAL ENTRY ON CLAREMONT
SCALE NTS

RENDERINGS

A 0.010

PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401



PEDESTRIAN VIEW OF RESIDENTIAL ENTRY ON CLAREMONT

RENDERINGS

A 0.011

PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401



PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401

AERIAL RENDERING FROM 3RD AVENUE AND CLAREMONT



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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

RENDERINGS



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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
0222 2011 PRELIM PLANNING SUBMITTAL
0732 2021 PRELIM PLANNING RESUBMITTAL
0732 2021 PRELIM PLANNING RESUBMITTAL
103-3021 STEROMAL PLANNING SUBMITTAL
123-3021 2ND FORMAL PLANNING SUBMITTAL
123-3021 2ND FORMAL PLANNING SUBMITTAL
123-3021 2ND FORMAL PLANNING SUBMITTAL
124-3021 2ND FORMAL PLANNING SUBMITTAL

RENDERINGS

A 0.014

RESIDENTIAL BALCONY

SCALE: NTS



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2017 St. Technology Errev, Sate 250
2018 Arizona Service (1911) del 464-1121

PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

WINDY HILL PROPERTY VENTURES

BLOCK 21

SAN MATER COR 21

SAN MATER COR 21

RENDERINGS

A 0.015

RESIDENTIAL BALCONY AT BBQ AREA



PROPOSED BUILDING





1 COMMERCIAL BUILDING







3 COMMERCIAL BUILDING





7 UNDER CONSTRUCTION OFFICE/RESIDENTIAL



4 RESTAURANT



UNDER CONSTRUCTION OFFICE/ RESIDENTIAL

OFFICE/ RESIDENTIAL

11 COMMERCIAL



12 RESTAURANTS/COMMERCIAL



10 RESTAURANTS/COMMERCIAL



8 OFFICE/RESIDENTIAL



REFERENCE SITE PLAN

9 RESTAURANTS/COMMERCIAL











REFERENCE SITE PLAN

SITE AT 3RD AVENUE FROM CLAREMONT

10 SITE ALONG 3RD AVENUE

5 CLAREMONT AND 4TH AVENUE FROM ACROSS STREET



1 DELAWARE FROM 4TH AVE





6 SITE AT CLAREMONT FROM 4TH AVENUE





SITE AT CLAREMONT LOOKING NORTHEAST - MID BLOCK



3 SITE AT 4TH AVENUE FROM DELAWARE







8 SITE AT CLAREMONT FROM 3RD AVENUE





4 SITE AT 4TH AVENUE FROM CLAREMONT



UNDER CONSTRUCTION OFFICE/ RESIDENTIAL

OFFICE/ RESIDENTIAL

PROPOSED BUILDING

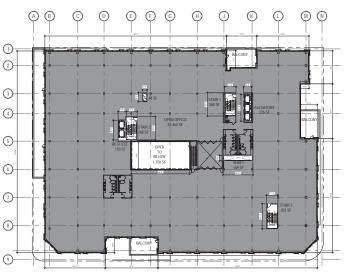
CORNER OF SITE FROM 3RD AVE AND DELAWARE



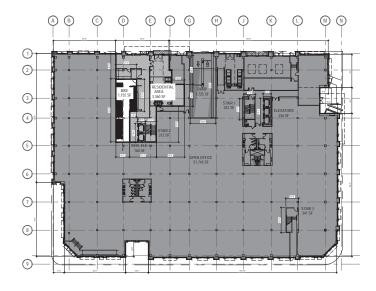
12 SITE AT DELAWARE FROM 3RD AVENUE











# FIRST LEVEL AREA PLAN



### PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL

REFICE SPACE	51.743 SQ. FT.
TAIR #1	252 SQ. FT.
TAIR #3	341 SQ. FT.
FFICE ELEVATORS	226 SQ. FT.
OTAL:	52,562 SQ. FT.
ECOND LEVEL	
FFICE AREA	57.845 SQ. FT.
TAIR #1	280 SQ. FT.
TAIR #2	268 SQ. FT.
TAIR #3	302 SQ. FT.
HAFTS	213 SQ.FT.
FFICE ELEVATORS	226 SQ. FT.
OTAL :	59,134 SQ. FT.
HIRD LEVEL	
FFICE AREA	52.462 SQ. FT.
TAIR#1	280 SQ. FT.
TAIR #2	268 SQ. FT
TAIR #3	302 SQ FT
HAFTS	213 SQ.FT.
FFICE ELEVATORS	226 SQ. FT.
OTAL :	53,751 SQ. FT.
OURTH LEVEL	
FFICE AREA	7.958 SQ. FT.
TAIR #1	360 SQ. FT.
HAFT	216 SQ. FT.
TAIR #3	302 SQ. FT.
FFICE ELEVATORS	226 SQ. FT.
OTAL:	9,062 SQ. FT.
IFTH LEVEL	
FFICE AREA	6,648 SQ. FT.
TAIR #1	245 SQ. FT.
HAFT	216 SQ. FT.
TAIR #3	302 SQ. FT.
FFICE ELEVATORS	226 SQ. FT.
OTAL:	7,637 SQ. FT.

# FAR FLOOR AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	51,743 SQ. FT.
RESIDENTIAL SPACE	3,360 SQ. FT.
STAIR #1	252 SQ. FT.
STAIR #2 (RESI.)	212 SQ. FT.
STAIR #3	341 SQ. FT.
PARKING RAMP	1,725 SQ.FT.
RESIDENTIAL ELEVATORS	160 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
FLOOR AREA OFFICE*:	54,287 SQ. FT.
FLOOR AREA RESIDENTIAL*:	3,732 SQ.FT.
SECOND LEVEL	
OFFICE AREA:	57,845 SQ. FT.
FLOOR AREA OFFICE*:	57,845 SQ. FT.
THIRD LEVEL	
OFFICE AREA	52,462 SQ. FT.
FLOOR AREA OFFICE*:	52,462 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	8,318 SQ. FT.
RESIDENTIAL AREA	28,924 SQ. FT.
FLOOR AREA OFFICE*:	8,318 SQ. FT.
FLOOR AREA RESIDENTIAL*:	28,924 SQ. FT.
FIFTH LEVEL	
OFFICE AREA	6,648 SQ. FT.
RESIDENTIAL AREA	30,476 SQ. FT.
FLOOR AREA OFFICE*:	6,648 SQ. FT.
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SIXTH LEVEL	
RESIDENTIAL AREA	26,246 SQ. FT.
FLOOR AREA RESIDENTIAL*:	26,246 SQ. FT.

TOTAL FAR FLOOR AREA OFFICE: 179,560 SQ.FT. TOTAL FAR FLOOR AREA RESIDENTIAL: 89,378 SQ.FT. TOTAL PARKING FLOOR AREA: 182,146 SQ.FT.

PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than

"PER Sam Maleo Municipal Code 27 64.200 (b) Measurement, other than single-lawly deellings in 11 zoning districts.

(I) Floor area in semanted from the celebral faculade of the studieties wall for the celebral faculation of the studieties of the

### FAR AREA DESIGNATION



AREAS EXCLUDED FROM

OPEN TO BELOW AREA ADDED

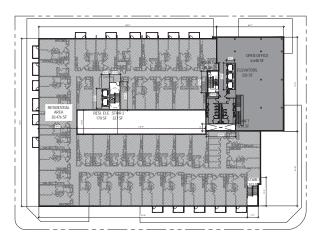
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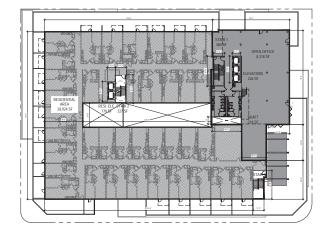
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Phoenix, AZ 85028 602,953 2355
California
1731 Technolog Prive, Suite 750
San Jose, CA 95113 408 496.1121

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.2001 PRELIM PLANNING SUBMITTAL
02.21.2001 PRELIM PLANNING RESUBMITTAL
07.30.2001 PRELIM PLANNING RESUBMITTAL II
10.04.3021 15T FORMAL PLANNING SUBMITTAL
12.23.2021 2ND FORMAL PLANNING SUBMITTAL
32.33.2021 2ND FORMAL PLANNING SUBMITTAL
32.33.2021 2ND FORMAL PLANNING SUBMITTAL

PLANNING DEPARTMENT AREA CALCULATIONS





FOURTH LEVEL AREA PLAN



FIFTH LEVEL AREA PLAN

PARKING ORDINANCE AREA CALCULATIONS

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TOTAL FAR FLOOR AREA OFFICE: 179,560 SQ.FT. TOTAL FAR FLOOR AREA RESIDENTIAL: 89,378 SQ.FT. TOTAL PARKING FLOOR AREA: 182,146 SQ.FT.

PEIS son Males Manispair Code 37 At 200 (b) Measurement, other than single family nuestlings in 11 enough districts. (1) 15 foor are in sensuared from the extender facation of the buildings suill planes, from the contection of party walls, or from a line three feet from the object of an ease, whichever produces the large-liftor area. Solitor services of the exception that quantification of the exception that quantification of the second from the finish floor to second friend floor area, with the exception that quantification is second friend floor after solitor and sadditional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in sudecident (6)(3). (2) Excludions. The flooring are not counted is after area.

(a) Covered walknessy and backering, office, relating, or project of counted only as ground floor area.

(b) Covered walknessy and backerines.

IC) Covered subsupys and ballerines:

(I) Covered subsupys and ballerines:

(I) First Inton., nechanical areas, prestituous, and top fitons are counted only once as floor area, regardless of height.

(I) Riscycle parking locified;

(I) Fixor are designated for day are contents accessory to and intended to serve a multi-family, comercial, diffice or multi-family rous. Section floor area may be located within the hopitrany's structure or may be in a freestanding structure accessory to the primary structure.

(II) Covered parking for office one shall not be counted as floor area in areas definitioned for exclosion within an adoption, such as the Mariner's baland Specific Plan or the Bay Meadows Specific Plan.

### FAR AREA DESIGNATION



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San Jose, CA 9513 408-496-1121
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the California Michigan California California California
Michigan San Admissiona and annotation of sense. Admission and sense.

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.2001 PRELIM PLANNING SUBMITTAL
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32.33.2021 2ND FORMAL PLANNING SUBMITTAL
32.33.2021 2ND FORMAL PLANNING SUBMITTAL

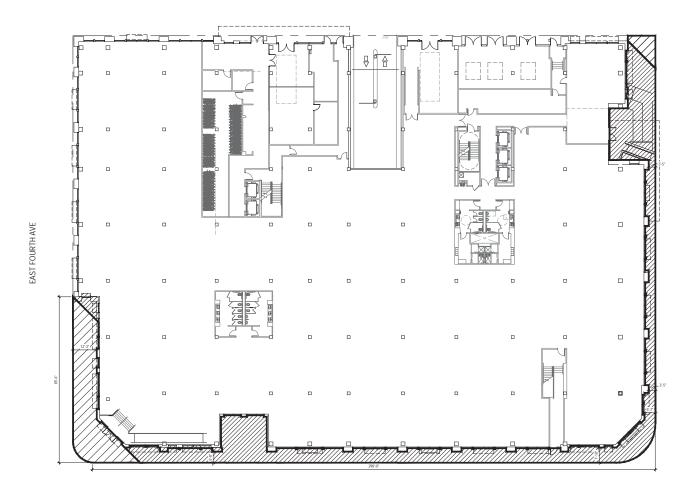
PLANNING DEPARTMENT AREA CALCULATIONS

A 0.22

SIXTH LEVEL AREA PLAN



### SOUTH CLAREMONT ST



SOUTH DELAWARE STREET



# COMMERCIAL OPEN SPACE DATA

(a) OPEN SPACE SHALL BE PROVIDED IN AN AMOUNT EQUAL TO ONE PERCENT (1%) OF THE NONRESIDENTIAL FLOOR AREA OF THE PROJECT, NOT INCLLIDING PARKING, PROVIDED THAT THERE SHALL BE NO BECUMENEMENT FOR OPEN SPACE WHERE THE RESULTING OPEN SPACE WOULD BE LESS THAN 200 SOLUARE FEET.

IN THE RECORDED CHYS SPACE SHALL BE USBALL CHYP SPACE LOCATE OF A CONDICULTURE OF THE SPACE CHYP AND THAN MARKING MAY CHANGE THE SEDWALL OF SPACE SHALL BE USBAUGHD BETWEEN MOON AND 2 FOR AT THE SPRING OF DAIL ELEGISMED CHYP SPACE SHALL BE USBAUGHD BETWEEN MOON AND 2 FOR ATT THE SPRING OF DAIL ELEGISMED CHYP WHISE THE CHYP STACE A SPACED SHALL DO NOT AND AT THE SPACE AS A SPACE OF SHALL DESCRIPTION OF THE SPACE SHALL BE USBAUGHD SHALL DO NOT THE SPACE SHALL DESCRIPTION OF THE PUBLIC MARKET.

OPEN SPACE AT GROUND LEVEL, SHADED BETWEEN NOON-2P ON THE SPRING AND FALL EQUINOX



OPEN SPACE AT GROUND LEVEL, UNSHADED BETWEEN NOON-2P ON THE SPRING AND FALL EQUINOX

REQUIRED OPEN SPACE TOTAL COMMERCIAL S.F. = 180, 950 S.F. 180,950 °.01 = 1,810 S.F. REQUIRED OPEN SPACE

PROVIDED OPEN SPACE
4,499.5F. SHANDED OPEN SPACE
2,141.5F. URSHANDED OPEN SPACE
5,713.S.F. PROVIDED OPEN SPACE
5,713.S.F. PROVIDED OPEN SPACE

REQUIRED UNSHADED OPEN SPACE 59% OF REQUIRED COMMERCIAL OPEN SPACE 1,810 S.F.\* 15 - 95 S.F. REQUIRED UNSHADED OPEN SPACE 1,214 S.F. PROVIDED UNSHADED OPEN SPACE > 914 S.F. REQUIRED UNSHADED OPEN SPACE

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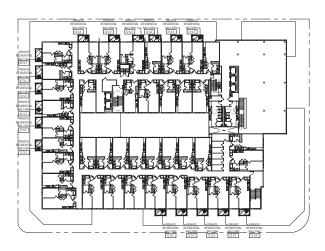
PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401

DATE DESCRIPTION
0222201 PREIM PLANNING SUBMITTAL
04212021 PREIM PLANNING SESUBMITTAL
04212021 PREIM PLANNING SESUBMITAL II
1041021 1ST FORMAL PLANNING SUBMITTAL
03342022 380 FORMAL PLANNING SUBMITTAL
03342023 380 FORMAL PLANNING SUBMITTAL

OFFICE OPEN SPACE AREA DIAGRAMS

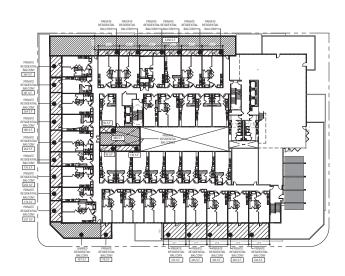
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EAST THIRD AVE









FOURTH LEVEL AREA PLAN

USABLE OPEN SPACE CALCULATIONS

(c) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57.5.F.) AND SHALL NOT BE LESS THAN SIX (6) FEET IN ANY DIMENSION.

57 RESIDENTIAL UNITS HAVE PRIVATE OPEN SPACE MEETING THE ABOVE REQUIREMENTS: PROVIDED PRIVATE OPEN SPACE = 7,087 S.F.

54 UNITS REQUIRE COMMON OPEN SPACE (54 X (57 S.F. X 1.5)) = 4,615 S.F. PROVIDED COMMON OPEN SPACE = 4,615 S.F.

TOTAL REQUIRED OPEN SPACE MEET THROUGH COMBINATION OF PRIVATE AND COMMON

OPEN SPACE.

TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON = 11,702 S.F.

### OPEN SPACE LEGEND

PRIVATE OPEN SPACE

SIXTH LEVEL AREA PLAN



DATE DESCRIPTION
02.22.001 PRELIM PLANNING SUBMITTAL
07.30.001 PRELIM PLANNING RESUBMITTAL II
07.30.201 PRELIM PLANNING SUBMITTAL II
10.01.0021 STS FORMAR PLANNING SUBMITTAL
12.32.2021 2MD FORMAR PLANNING SUBMITTAL
07.30.2020 STREET FORMAR PLANNING SUBMITTAL

RESIDENTIAL USABLE OPEN SPACE DIAGRAMS

A 0.24

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

Each building shall be provided with sanitary facilities, including provisions for persons with disabilities are precibed by the Department Haining, Jurisdiction. I Table 2CT1 agains in one buildings, and distings and changes of copanity or type in an existing building resulting increased concept that disacrotance with Section 1.2 and 2017. The Anniesh Provincy Haman Section 1.2 and 2017. The Anniesh Ha

The total occupant load shall be determined in accordance with the Occupant Load Factor Table A.

	r Closets <sup>3</sup> s per Person)	Lavatories (Fatum per Person)		Urinals (Fatares per Penar)	Bathtubs or Showers (Fature per Penon)	Drinking Fountains (Fatures per Person)	Other
A-2 Assembly	occupancy - resta	urants <sup>2</sup> , pubs,	lounges, night	clubs and banquet h	alls		
Male: 1:1-50 2:51-150 3:151-300 4:301-400	Female 1: 1-25 2- 26-50 3: 51-100 4: 101-200 6: 201-300 8: 301-400	Male: 1:1-150 2:151-200 3:201-400	Female 1: 1-150 2: 151-200 4: 201-400	Male: 1: 1-200 2: 201-300 3: 301-400 4: 401-600		1: 1-250 2: 251-500 3: 501-750	1 service sink or laundry tray
	1 fixture for each males and 1 for il 125 females.	Over 400, as for each add males and 1 each 200 fer	itional 250 foture for	Over 600, add 1 fixture for each additional 300 males.		Over 750, add 1 flature for each additional 500 persons.	

B Business occupancy (office, professional or service type transactions) - banks, vel clinics, hospitals, car wash, banks, beauty salons, ambutatory health care facilities, laundries and dry cleaning, educational institutions (above high school), or training facilities not located within

Janous, post u	nccs and printing	arrops a				
Male: 1:1-50 2:51-100 3:101-200 4:201-400	Female 1: 1-15 2: 16-30 3: 31-50 4: 51-100 8: 101-200 11: 201-400	Male: 1:1-75 2:76-150 3:151-200 4:201-300 5:301-400	Female 1: 1-50 2: 51-100 3: 101-150 4: 151-200 5: 201-300 6: 301-400	Male: 1: 1-100 2: 101-200 3: 201-400 4: 401-600	1 per 150	1 service sink or laundry tray
additional 500	d 1 fixture for each I males and 1 for al 150 females.	Over 750, a for each add males and 1 each 200 fe	fixture for	Over 600, add 1 fixture for each additional 300 males.		

- The figures shown are based upon (1) floater being the minimum required for the number of persons indicated or any fraction thereof.

  A restaurant is defined as a business that sides bood to be commanded in the premises.

  A remarked or conserved in a deliver learn that sides housed and the considered and upon the number of parking statis.

  The half marked or required valuer observed in the considered was quite to the number of required valuer observed from the state of the best in marked or required valuer observed from the state of the side of the state of the premiser of the state of the state

TABLE A. OCCUPANT LOAD FACTOR	
OCCUPANCY*,***	OCCUPANT LOAD FACTOR (square feet)
Group A	
<ol> <li>Auditoriums, convention halls, dance floors, lodge rooms, stadiums, and casinos (where no fixed seating is provided) (use 1/2 "one-half" the number of fixed seating).</li> </ol>	15
<ol> <li>Conference rooms, dining rooms, drinking establishments, exhibit rooms, gymnasiums, lounges, stages, and similar uses, including restaurants<sup>2</sup> classified as Group B occupancies</li> </ol>	30
<ol> <li>Worship places; principal assembly area, educational and activity unit (where no fixed seating is provided) (use 1/2 "one-half" the number of fixed seating).</li> </ol>	30

- For building or space with mixed occupancies, use appropriate occupancy group for each area (for example, a school may have an "A" occupancy for the gymnasium, a "B" occupancy for the office, an "E" occupancy for the classrooms, etc.).

### FIRE RESISTANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)									
BUILDING ELEMENT	TYPE	TYPE IB	TYPE IIA <sup>d</sup>	TYPE	TYPE	TYPE IIIB	TYPE	TYPE VA <sup>d</sup>	TYPE VB
Primary Structural Frame (See Section 202)	3"	2 ª	1	0	-1	0	HT	1	0
Bearing Walls Exterior <sup>18</sup> Interior	3 3 3 3	2 2*		0	2	2	2 1/HT	1	0
Nonbearing Walls And Partitions - Exterior			:	S	ee Table	602			
Nonbearing Walls And Partitions - Interior d	0	0	l .	0	0	0	See Section 802.4.6	0	0
Floor Construction and Associated Secondary Members (see Section 202)	2	2	1	0	1	0	нт	1	0
Roof Construction and Associated Secondary Members (see Section 202)	1 1/2	1 <sup>b,c</sup>	1 <sup>b,c</sup>	o°	1 <sup>bc</sup>	0	нт	1 b,c	0

- B. Bott supports. Fire-residence ratings of priftings year-Old attention and bosting with an expending and one permitted to be reduced by 1 has where supporting and one PLM CLE, M. R. H. P. J. R. L. J. and S. 1 conquencies, high-rice buildings, and other supporting indices liked in Section 1.11 registed by the PLM Cled of the Sales Fell-whold. The protection of sixtuation members without the prevention and substant members without the prevention protection. Fire-clusted resident device where the protection of the section for the protection of the protection of the section for the protection of the protection of members with the substant buildings and the segment of the Sales Fire Members, M. Le protection of members where the structural than exhall not be required. Including protection of ord haming and decisy where every part of the ord construction. So let for more above, so they commodably below. Fire-clusted and members shall be allowed be to used for such supposed of the more above, so they commodably below. Fire-clusted and construction where the protection of the pr

### PLUMBING FIXTURE TABULATIONS

A-2 OCCUPANCY NET AREA: 8,567 S.F.

8,567 S.F / 30 S.F. PER PERSON = 285.6 PERSONS; ROUND UP TO 286 PERSONS 143 MEN: 143 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:				
WATER CLOSETS:	(143/150) X 2 = 1.91 (143/200) X 1 = .72	WATER CLOSETS:	(143/200) X 4 = 2.86				
LAVATORIES:	(143/150) X 1 = .96	LAVATORIES:	(143/150) X 1 = .95				
B OCCUPANCY NET AREA: 41,614 S.F.							

86 MEN; 86 WOMEN	34,288 S.F.F.200 S.F. PER PERSON = 171.34 PERSONS; ROUND OP TO 172 PERSONS 86 MEN; 86 WOMEN							
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:					
WATER CLOSETS: URINALS:	(86/100) X 2 = 1.72 (86/100) X 1 = .86	WATER CLOSETS:	(86/100) X 4 = 3.44					
LAVATORIES:	(86/150) X 2 = 1.15	LAVATORIES:	(86/100) X 2 = 1.72					

### RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR FIRST FLOOR OFFICE

PER CBC SECTION 4221: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER, FOR MULTIPLE OCCUPANCIES. FRACTIONAL NUMBERS SHALL BE IRSSI SUMMED AND THEN ROUNDED TO THE NEXT WANT OF WINDOWS.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3.63 ROUND TO 4 1.58 ROUND TO 2	WATER CLOSETS:	6.3 ROUND TO 7
LAVATORIES:	2.11 ROUND TO 3	LAVATORIES:	2.67 ROUND TO 3
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	8
LAVATORIES:	5	LAVATORIES:	5

A-2 OCCUPANCY NET AREA: 10 404 S.E.

10,404 S.F./30 S.F. PER PERSON = 346.8 PERSONS; ROUND UP TO 347 PERSONS 174 MEN; 174 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS: LIRINALS:	(174/300) X 3 = 1.74 (174/200) X 1 = .87	WATER CLOSETS:	(174/200) X 4 = 3.4
LAVATORIES:	(174/200) X 2 = 1.74	LAVATORIES:	(174/200) X 2 = 1.7

### B OCCUPANCY NET AREA: 41.614 S.F.

41,614 S.F / 200 S.F. PER PERSON = 104.05 PERSONS; ROUND UP TO 105 PERSONS 103 MEN; 103 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:		
RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR SECOND FLOOR OFFICE					
LAVATORIES:	(103/150) X 2 = 1.38	LAVATORIES:	(103/150) X 3 = 2.06		
WATER CLOSETS: URINALS:	(103/200) X 3 = 1.55 (103/200) X 2 = 1.03	WATER CLOSETS:	(103/200) X 8 = 5.08		
MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:		

### WATER CLOSETS: 3.29 ROUND TO 4 WATER CLOSETS: 8 SA POLIND TO 9 3.8 ROUND TO 5

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED
WATER CLOSETS:	6	WATER CLOSETS:	11
LAVATORIES:	6	LAVATORIES:	6

### THIRD FLOOR OFFICE

A-2 OCCUPANCY NET AREA: 1,620 S.F. (EXTERIOR)

1.620 S.F / 30 S.F. PER PERSON = 54 PERSONS

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS: URINALS:	(27/50) x 1 = 0.54 (27/200) x 1 = 0.14	WATER CLOSETS:	(27/50) x 2 = 1.08
LAVATORIES:	(27/150) x 1 = 0.14	LAVATORIES:	(27/150) x 1 = 0.18

10,147 S.F./ 30 S.F. PER PERSON = 338.23 PERSONS; ROUND UP TO 339 PERSONS

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS: URINALS:	(170/300) X 3 = 1.7 (170/200) X 1 = .85	WATER CLOSETS:	(170/200) X 4 = 3.4
LAVATORIES:	(170/200) X 2 = 1.7	LAVATORIES:	(170/200) X 2 = 1.7

### B OCCUPANCY NET ADEA: 40 597 S E

40,587 S.F / 200 S.F. PER PERSON = 202.94 PERSONS; ROUND UP TO 203 PERSONS

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	(102/200) x 3 = 1.91	WATER CLOSETS:	(102/200) x 8 = 5.08
URINALS: LAVATORIES:	(102/200) x 2 = 1.27 (102/150) x 2 = 1.69	LAVATORIES:	(102/150) x 3 = 2.54
RESTROOM FIXTURE	REQUIREMENTS AND PRO	WIDED TOTALS FOR THIRD F	LOOR OFFICE

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	4.15 Round to 5 2.26 Round to 3	WATER CLOSETS:	9.56 Round to 10
LAVATORIES:	3.57 Round to 4	LAVATORIES:	4.42 Round to 5
MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	6	WATER CLOSETS:	11
LAVATORIES:	6	LAVATORIES:	6

### FOURTH AND FIFTH FLOOR OFFICE

A-2 OCCUPANCY NET AREA: 5 (25 S.E. (EXTERIOR)

5,590 S.F / 30 S.F. PER PERSON = 186.33 PERSONS; ROUND UP TO 187 PERSONS 94 MEN; 94 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	(94/150) X 2 = 1.25 (94/200) X 1 = 0.47	WATER CLOSETS:	(94/100) X 3 = 2.82
LAVATORIES	(94/200) X 1 = 0.47 (04/150) X 1 = 0.47	LAVATODICS.	MAREN V 1 0 42

8,877 S.F / 30 S.F. PER PERSON = 295.9 PERSONS; ROUND UP TO 296 PERSONS

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	(148/150) X 2 = 1.97 (148/200) X 1 = 0.74	WATER CLOSETS:	(148/200) X 4 = 2.96
LAVATORIES:	(148/150) X 1 = 0.99	LAVATORIES:	(148/150) X 1 = 0.99
RESTROOM FIXTURE	REQUIREMENTS AND PRO	VIDED TOTALS FOR FOURTH	AND FIFTH FLOOR OFFICE

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3.22 ROUND TO 4	WATER CLOSETS:	5.78 ROUND TO 6
URINALS:	1.1 ROUND TO 2 1.62 ROUND TO 2	LAVATORIES:	1 62 ROUND TO 2

MEN'S FIXTURES	PROVIDED:	WUMENS FIXTURES	PROVID
WATER CLOSETS:	4	WATER CLOSETS:	6
URINALS:	2		
LAVATORIES:	3	LAVATORIES:	3

### ALLOWABLE BUILDING AREA

CONSTRUCTION TYPE: 1 - B			
AUTOMATIC SPRINKLER CONFIGURATION:		GRADE PLANE, UGHOUT WITH AN INKLER SYSTEM IN	
	OCCUPANCY (	CLASSIFICATION	
	В	R-2	A-2
MAXIMUM HEIGHT (TABLE 504.2)	180'-0"	180'-0"	180'-0"
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	12	12	12
SM ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	UNLIMITED	UNLIMITED
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	UNLIMITED	UNLIMITED
HEIGHT OF PROPOSED BUILDING	10Th 2018	P OF ROOF)	
NUMBER OF STORIES ABOVE GRADE		6	
PROPOSED AREA PER FLOOR			
GRADE LEVEL	57,430 S.F.	В	
SECOND LEVEL	59,284 S.F.	В	
THIRD LEVEL	55,664 S.F.	В	
FOURTH LEVEL	34,453 S.F.	A-2, B, R-2	
FIFTH LEVEL	30,699 S.F.	A-2, R-2	
TOTAL BUILDING AREA ABOVE GRADE	237,540 S.F.		

TOTAL BUILDING AREA ABOVE GRADE	237,540 S.F.	
BELOW GRADE BUILDING (PARKING	CADACE	
	GARAGE)	
CONSTRUCTION TYPE: 1- A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:		RADE PLANE, JGHOUT WITH AN NKLER SYSTEM IN
	OCCUPANCY O	LASSIFICATION
	5	i-2
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLI	MITED
NS AREA FACTOR (TABLE 506.2)	UNLI	MITED
PROPOSED AREA PER FLOOR		
BUILDING LEVEL	BUILDIN	IG AREA
PARKING LEVEL -2	64,34	16 S.F.
PARKING LEVEL -1	64,346 S.F.	
TOTAL BUILDING AREA BELOW GRADE	128,6	92 S.F.

### SUMMARY:

### ABOVE GRADE OFFICE AND RESIDENTIAL: TYPE I-B CONSTRUCTION

- Rating of building elemente:
  1. Primary shoutural fame: 2 hours (I hour where only supporting root)
  2. Existive burging subte: 2 hours ( urines is ess than 5 feet from properly line; then 3 hours)
  3. Interior bearing subte: 2 hours (1 hour where only supporting root)
  4. Nemberring riner wask and partitions: Ohors
  5. Floor correlaction and associated secondary members: 2 hours
  6. Root correlaction and associated secondary members: 2 hours.
- Three-hour rated construction is required for exterior walls and concrete stab separating garage from the office building. Minimum concrete bitidenses to the 32".

  Two hour rating is required for other floors with minimum concrete thickness of 5".

  All shafts and shars to be constructed with two-hour partitions.

ONSTRUCTION TYPE: 1 - B			
UTOMATIC SPRINKLER CONFIGURATION:	SM (BUILDING TWO OR MORE STORIES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).		
	OCCUPANCY O	OCCUPANCY CLASSIFICATION	
	В	R-2	A-2
IAXIMUM HEIGHT (TABLE 504.2)	180°-0°	180'-0"	180'-0"
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	12	12	12
M ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	UNLIMITED	UNLIMITED
IS AREA FACTOR (TABLE 506.2)	UNLIMITED	UNLIMITED	UNLIMITED
		•	
EIGHT OF PROPOSED BUILDING	60'-0" (TOP OF ROOF)		
UMBER OF STORIES ABOVE GRADE	6		
ROPOSED AREA PER FLOOR			
GRADE LEVEL	57,430 S.F.	В	
SECOND LEVEL	59,284 S.F.	В	
THIRD LEVEL	55,664 S.F.	В	
FOURTH LEVEL	34,453 S.F.	A-2, B, R-2	
FIETH LEVEL	30,699 S.F.	A-2, R-2	
FIF IH LEVEL			

BELOW GRADE BUILDING (PARKING	GARAGE)			
CONSTRUCTION TYPE: 1 - A				
OCCUPANCY CLASSIFICATION: S-2	T			
AUTOMATIC SPRINKLER CONFIGURATION:	S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM I ACCORDANCE WITH SECTION 903.3.1.1).			
	OCCUPANCY O	LASSIFICATION		
	5	i-2		
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED			
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED			
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED			
NS AREA FACTOR (TABLE 506.2)	UNLI	MITED		
PROPOSED AREA PER FLOOR				
BUILDING LEVEL	BUILDING AREA			
PARKING LEVEL -2	64,34	64,346 S.F.		
PARKING LEVEL -1	64,34	64,346 S.F.		
TOTAL BUILDING AREA BELOW GRADE	128,6	92 S.F.		

- Below grade Parking Structure: Type I-A construction.

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

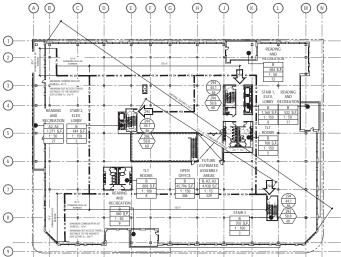
ARC TEC

ARCHITECTURAL TECHNOLOGIES www.arctecinc.com
Arizona
2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355 California 1731 Technology Drive, Suite 750 San Jose, CA 95113 408.496.1121

BUILDING CODE PROJECT DATA

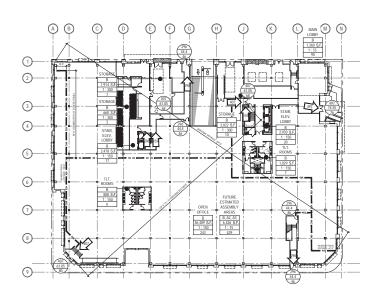
A0.31





THIRD LEVEL EGRESS PLAN

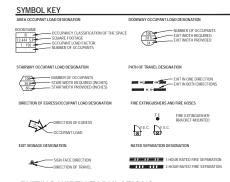






SCALE: 1/32" = 1":0"





# **EXITING WIDTH TABULATIONS**

THIS BUILDING IS EQUIPPED WITH AN EMERGENCY VOICE/BLARM SYSTEM PER CBC SECTION 907.5.22 IN ADDITION TO THE AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2° PER PERSON FOR STAIRS AND 0.15° PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1007. A R C T E C

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WATZONIS

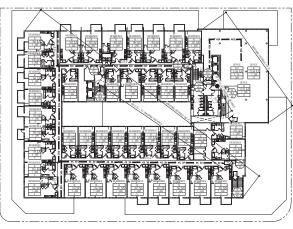
WATZO

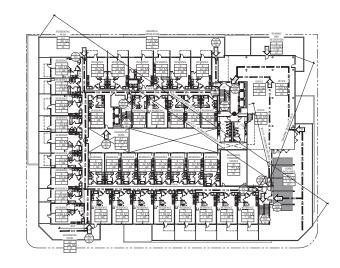
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE

022.2001 PRELIM PLANNING SUBMITIAL
0421.2001 PRELIM PLANNING PSUBMITIAL
0421.2001 PRELIM PLANNING SESSIMITIAL II
1041.0201 IST FORMAL PLANNING SUBMITIAL
12.23.2021 2001 FORMAL PLANNING SUBMITIAL
05.3% 2022 2005 FORMAL PLANNING SUBMITIAL
05.3% 2022 2005 FORMAL PLANNING SUBMITIAL

EGRESS DIAGRAMS

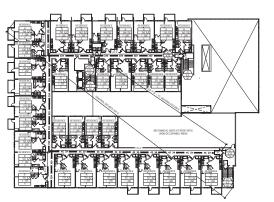




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FOURTH LEVEL EGRESS PLAN





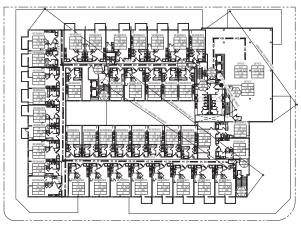
DATE DESCRIPTION
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04.21.2001 PRELIM PLANNING SESUBMITAL II
10.01.0.201 1ST FORMAL PLANNING SUBMITTAL
02.30.2021 2005 FORMAL PLANNING SUBMITTAL
03.30.2022 3005 FORMAL PLANNING SUBMITTAL

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

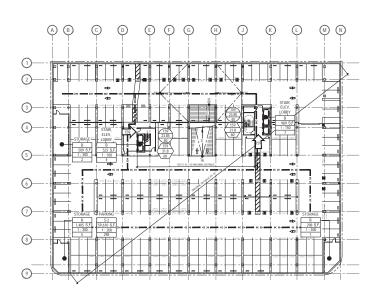
EGRESS DIAGRAMS

A0.33

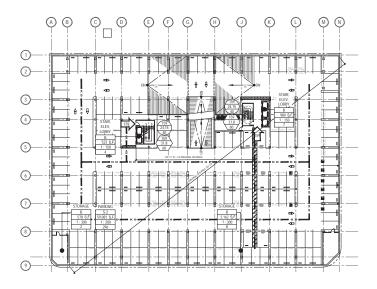
SIXTH LEVEL EGRESS PLAN



FIFTH LEVEL EGRESS PLAN



**B2 LEVEL EGRESS PLAN** 



**B1 LEVEL EGRESS PLAN** 



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

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Wat Garen Barring
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California
1721 Interhologies 102 051255
California
1721 Interhologies 105 0516 190
San Josep, CA 95113 1406 1406 1417

DATE DESCRIPTION
02.22.2001 PRELIM PLANNING SUBMITTAL
04.21.2001 PRELIM PLANNING SUBMITTAL
04.21.2001 PRELIM PLANNING SESSIBINITAL II
10.01.0201 1ST FORMAL PLANNING SUBMITTAL
02.20.2012.2010 FORMAL PLANNING SUBMITTAL
03.29.2022.2010 FORMAL PLANNING SUBMITTAL

EGRESS DIAGRAMS

A0.34



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1) EXISTING BUILDING TO BE DEMOLISHED

2 EXISTING PAVED PARKING AND DRIVES TO BE REMOVED

EXISTING PUBLIC SIDEWALK TO REN

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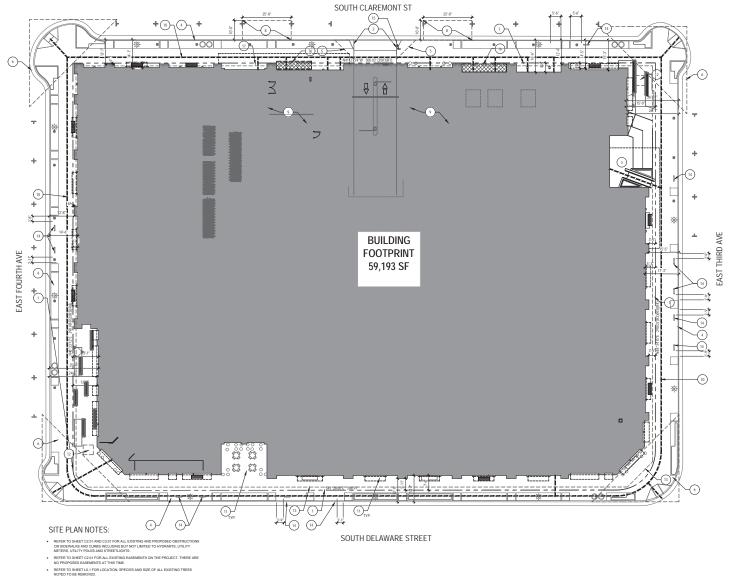
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
22.2021 PREUM PLANNING SUBMITTAL
30.2021 PREUM PLANNING RESUBMITTAL II
30.2021 PREUM PLANNING RESUBMITTAL II
30.2021 STE FORMAL PLANNING SUBMITTAL
32.2021 XIND FORMAL PLANNING SUBMITTAL

DEMOLITION SITE PLAN

A 1.00

PROJECT NO: 205





# PROJECT DATA

ASSES	SOR'S PAR	CEL NO.:	03418	160, 034185030, 034185 034185120, 0341851	5040, 034185050, 03485170, 0341851 110, 034184190, 034185200, 0341851
ZONIN					
SITE AI MAX. A MAX RI C	LLOWABLE ESIDENTIAL	AREA / MAX. UNITS (50 PE DENSITY BOY	F.A.R.: :R ACRE): IUS ( ADDITION	AL 1.50):	BDIS - CENTRAL BUSINESS SUPPO ±65,888 S.F. / 1.51 ACR 197,664 S.F. // 76 UNI 114 UNI
ALLOW	ABLE HEIG	HT: IT:			55° 72'-1
PROPO	SED FLOO	R AREA:			
FIRST	FLOOR:	OFFICE:			58,019 S
ercos.	ID FLOOR :	RESIDENTIAL			58,019 S 54,287 S 3,732 S
SECON		OFFICE RESIDENTIAL			57,845 S 57,845 S
THIRD	FLOOR:	OFFICE			52,462 S 52,462 S
FOURT	H FLOOR :	RESIDENTIAL			0 S 37.242 S
		OFFICE RESIDENTIAL			8,318 S 28,924 S
FIFTH	FLOOR:	OFFICE			37,124 S 6,648 S
SIXTH	FLOOR:	RESIDENTIAL			30,476 S 26,246 S
TOTAL	FLOOR AF	RESIDENTIAL REA BUILDING	): :		26,246 S 268,938 S
FLOOR PER BEYO	CALIFORNI	10 (268,938 S. A DENSITY BI DUESTED	F./65,888 S.F.) DNUS, ADDITIO	NAL FAR INCREASE	4.6
PARCE F.A.R. (	L COVERAG (OFFICE AR	GE: EA):			59,193 / 65,888 = 89.8 179,560 / 65,888 = 2.
TOTAL UNIT T	RESIDENTI YPE COUNT	AL UNITS:			111 UN 53 STUDIOS (APPROX. 500 S.F. E. 1-BEDROOMS (APPROX. 650 S.F. E.
		REQUIRED:		58	1-BEDROOMS (APPROX. 650 S.F. E. PER SAN MATEO CITY CHARTI AND MUNICIPAL CODE, 27.64.2
				1:	AND MUNICIPAL CODE, 27.64.2 GENERAL OFFIC SHORT-TERM SPACE PER 20,000 S 179,560 S.F. / 20,000 S.F. – 9 SPACI
					1 LONG-TERM SPACE PER 10,000 S
				1	179,560 S.F. / 10,000 S.F. = 18 SPAC RESIDENTIA
					.05 SHORT-TERM SPACES PER UN 111 UNITS * .05 = 6 SPAC
				TOTA	1 LONG-TERM SPACE PER UN 111 UNITS * 1 = 111 SPAC
				TOTA TOT	1 LONG-TERM SPACE PER UI 111 UNITS * 1 – 111 SPAC IL SHORT-TERM SPACES: 15 SPAC IAL LONG-TERM SPACES: 129 SPAG
BICYCL	LE PARKING	; PROVIDED (I	MINIMUM):	TOTA TOT	1 LONG-TERM SPACE PER UI 111 UNITS *1 = 111 SPAC IL SHORT-TERM SPACES: 15 SPAC IAL LONG-TERM SPACES: 129 SPAI 22 SHORT-TERM SPACE
PAI	RKIN	IG AN	IALYS	IS R	1 LONG-TERM SPACE PER UI 111 UNITS "1 - 111 SPAC N. SHORT-TERM SPACES: 15 SPAC ALL LONG-TERM SPACES: 129 SPAC 22 SHORT-TERM SPAC 129 LONG-TERM SPAC EFER TO SHEETS AB2.11 AND AB2
PAI OTAL P	RKIN PARKING RE	IG AN	IALYS	10	1 LONG-TERM SPACE PER UI 11 UNITS 1 - 111 SPACE N. SHORT-TERM SPACES. 15 SPAC AL LONG-TERM SPACES: 125 SPACE 22 SHORT-TERM SPACE 129 LONG-TERM SPACE EFER TO SHEETS AB2.11 AND AB2 TER 27.64
PAI TOTAL P	RKIN PARKING RE	OUIRED PER	IALYS	IS R	1 LONG TERM SPACE PER UI  1 LONG TERM SPACE 1-11 SPAC  U. SHORT-TERM SPACE: 15 SPAC  AL LONG-TERM SPACE: 179 SPAC  22 SHORT-TERM SPAC  179 LONG-TERM SPAC  EFER TO SHEETS ABZ 11 AND ABZ  EFER 27.64  341 SPACES
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

SITE PLAN

A 1.01



A 1.11





























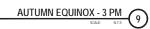
WINTER SOLSTICE - 12 PM
SCALE NTS 11







WINTER SOLSTICE - 3 PM
SCALE NTS 12



AUTUMN EQUINOX - 12 PM

SCALE: N.T.S.

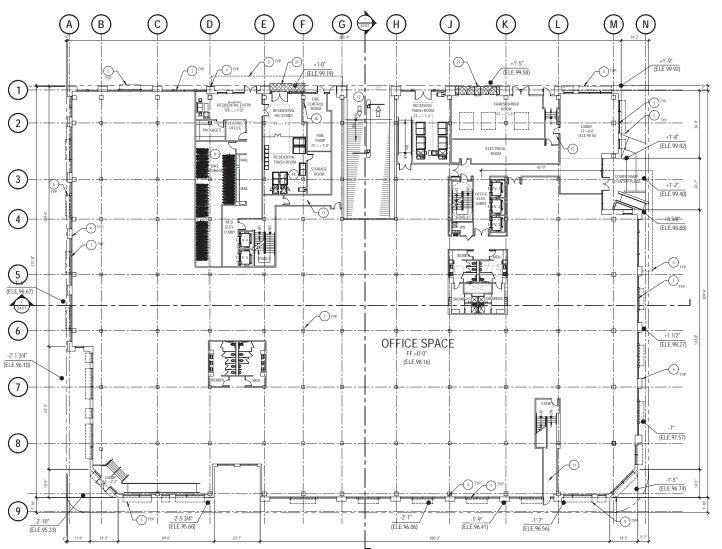
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SUMMER SOLSTICE - 12 PM
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SPRING EQUINOX - 3 PM
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20 FIRE DEPT KNOX SHUT OFF LOCATION 21 LINE OF SOLID WASTE STAGING AREA

EXTERIOR GLAZING SYSTEM: REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION STRUCTURAL COLUMN RESIDENTIAL BALCONY CANOPY ABOVE. SHOWN DASHED EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION 7 ROOF SCREEN 8 LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS 9 SHAFT
10 NANAWALL GLASS PARTITION 11 EXIT PASSAGEWAY 12 RAMP DOWN TO BELOW GRADE PARKING OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES. TRASH CHUTE 16 LINE OF MEZZANINE ABOVE 17) LINE OF BALCONIES ABOVE 18 PATIO DIVIDERS 19 BALCONY BELOW

STRUCTURAL SLAB AND TOPPING SLAB/OR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE AT 2% FOR POSITIVE DRAINAGE.
FLOOR DRAIN AND OVEFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM.

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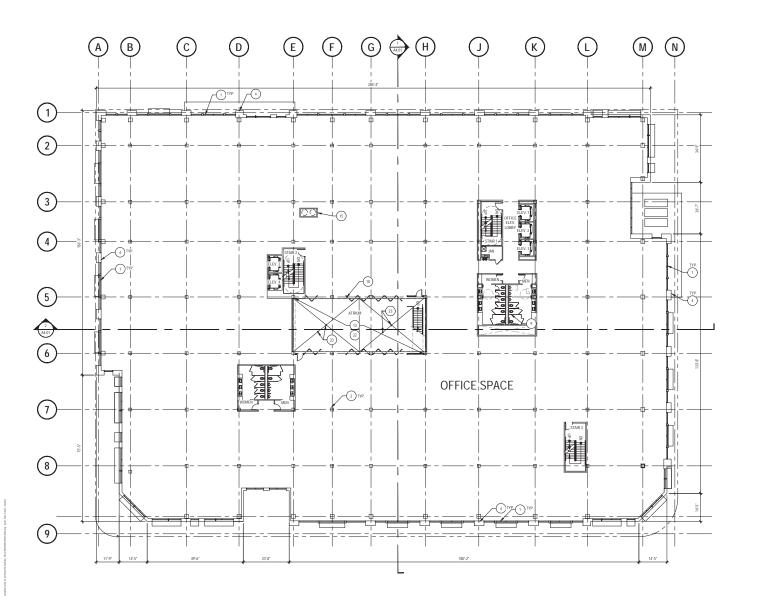
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.001 PRELIM PLANNING SUBMITTAL
07.30.001 PRELIM PLANNING RESUBMITTAL II
07.30.201 PRELIM PLANNING SUBMITTAL II
10.01.0021 STS FORMAR PLANNING SUBMITTAL
12.32.2021 2MD FORMAR PLANNING SUBMITTAL
07.30.2020 STREET FORMAR PLANNING SUBMITTAL

FIRST LEVEL PLAN

A 2.01

FIRST LEVEL PLAN





(1)	EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
(2)	STRUCTURAL COLUMN
(3)	RESIDENTIAL BALCONY
(4)	EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
(5)	CANOPY ABOVE, SHOWN DASHED
<b>6</b>	EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
7	ROOF SCREEN
<u>③</u>	LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS
(9)	SHAFT
10	NANAWALL GLASS PARTITION
(11)	EXIT PASSAGEWAY
(12)	RAMP DOWN TO BELOW GRADE PARKING
(13)	OPEN TO ABOVE
14	OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES.
(15)	TRASH CHUTE
(16)	LINE OF MEZZANINE ABOVE
17	LINE OF BALCONIES ABOVE
(18)	PATIO DIVIDERS
(19)	BALCONY BELOW
(20)	FIRE DEPT KNOX SHUT OFF LOCATION
(21)	LINE OF SOLID WASTE STAGING AREA
22 23	STRUCTURAL SLAB AND TOPPING SLABIOR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE AT 2% FOR POSITIVE DRAINAGE. FLOOR DRAIN AND OVEFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM.



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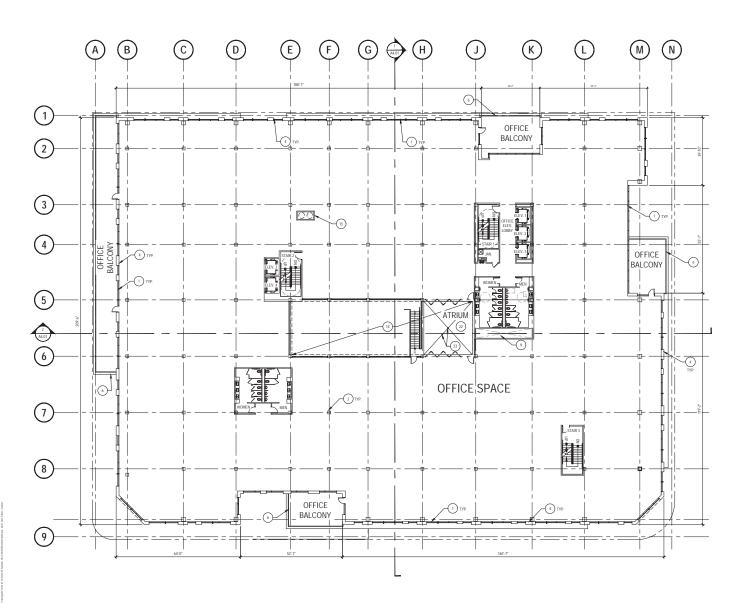
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.2001 PRELIM PLANNING SUBSITTAL
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03.24.20.22 2805 FORMAL PLANNING SUBSITTAL

SECOND LEVEL PLAN

A 2.02





21 LINE OF SOLID WASTE STAGING AREA

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING

EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION STRUCTURAL COLUMN RESIDENTIAL BALCONY EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION CANOPY ABOVE, SHOWN DASHED 6 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION 7 ROOF SCREEN LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS 9 SHAFT
10 NANAWAI
11 EXIT PAS EXIT PASSAGEWAY RAMP DOWN TO BELOW GRADE PARKING OPEN TO ABOVE 13) OPER TO AREA RELOW AND AN CODES.
13) TRASH CHUTE
16) LINE OF MEZZANINE ABOVE
17) LINE OF BALCONIES ABOVE
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19) BEALONY BELOW OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES.

STRUCTURAL SLAB AND TOPPING SLABIOR PAVERS IN OPEN TO ABOVE SPACE TO BE SLOPE AT 2% FOR POSITIVE BRAINAGE. FLOOR DRAIN AND OVEFLOW TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM.

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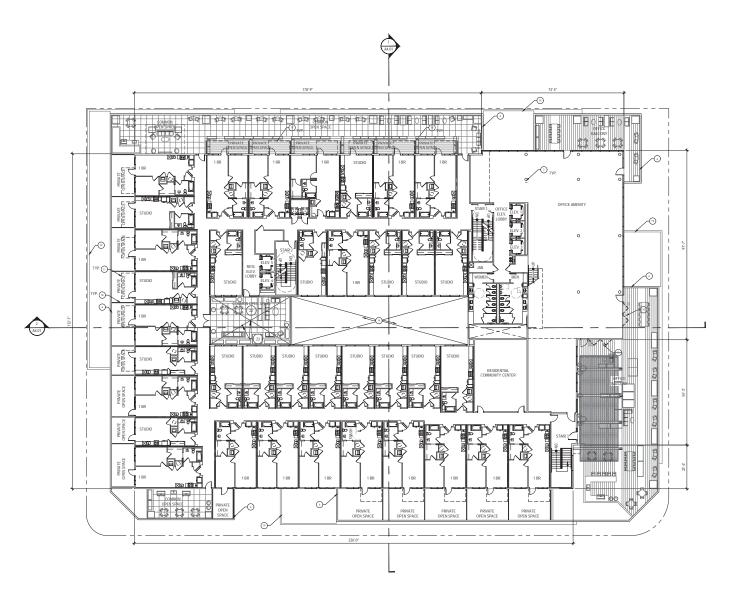
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
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10.01.2001 PRELIIR PLANNING SESSIBINITAL II
10.01.0201 IST FORMAL PLANNING SUBMITTAL
03.39.3022 3RD FORMAL PLANNING SUBMITTAL
03.39.3022 3RD FORMAL PLANNING SUBMITTAL

THIRD LEVEL PLAN

A 2.03



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING

CITERIOR GALZING SYSTEM REFER TO EXTERIOR ELEVATIONS FOR SPECEFCATION

STRUCTURAL COLUMN

RESIDENTIAL BALCOMY

DETERIOR WALL REFER TO EXTERIOR ELEVATIONS FOR FINSH SPECIFICATION

CANODY ABOVE. SHOWN DASHED

EDGE OF BALCOMY WITH IT HIGH GUARDBALL REFER TO EXTERIOR ELEVATIONS FOR GUARDBALL REFER TO EXTERIOR SHOWN AND EXAMPLE THE RESIDENCE AND EXAMPLE TO EXAMPLE AND EXAMPLE AND

### RESIDENTIAL UNITS COUNT:

> 6TH FLOOR: 34 UNITS STUDIOS 15 1BR 19

TOTAL: STUDIOS 53 (48%) 1BR 58 (52%) ARC TEC

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Building C

California

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San Jose, CA 95113 408.496.1121

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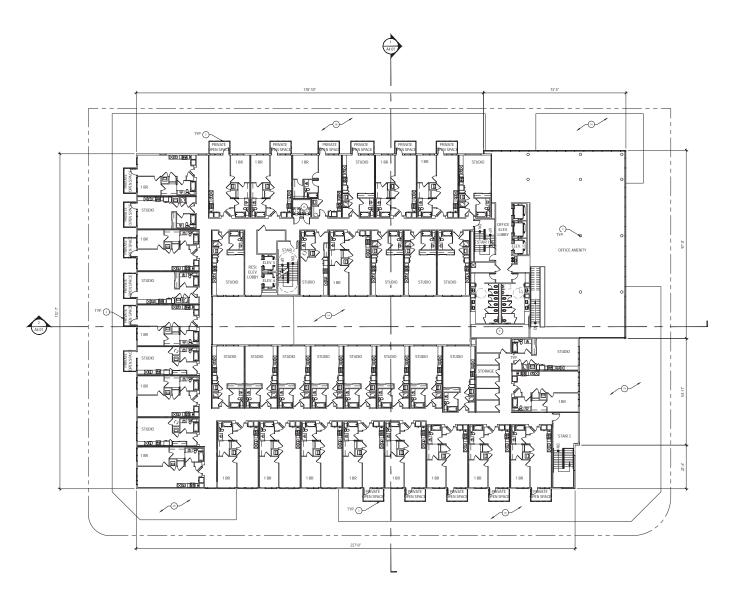
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
022 2001 PRELIM PLANNING SUBMITTAL
0730 2001 PRELIM PLANNING SESUBMITTAL
0730 2001 PRELIM PLANNING SESUBMITTAL
12-23-2022 2000 FORMAR PLANNING SUBMITTAL
12-23-2022 2000 FORMAR PLANNING SUBMITTAL

FOURTH LEVEL PLAN

A 2.04

FOURTH LEVEL PLAN
SCALE: 1/16'-1'0'



EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION LONG-TERM SECURE BICYCLE PARKING WITH DESIGNATED MAINTENANCE AREA; SEE A1.01 FOR BICYCLE PARKING CALCULATIONS SHAFT NANAWALL GLASS PARTITION EXIT PASSAGEWAY RAMP DOWN TO BELOW GRADE PARKING OPEN TO ABOVE OPEN TO AREA BELOW AND ABOVE - ALL EXTERIOR WALLS TO COMPLY WITH APPLICABLE CODES. TRASH CHUTE PATIO DIVIDERS BALCONV BELOW

T2 STDEN THATE ON TO SECTION TO S

FIRE DEPT KNOX SHUT OFF LOCATION

LINE OF SOLID WASTE STAGING AREA

4TH FLOOR: 37 UNITS STUDIOS 18 1BR

5TH FLOOR: 40 UNITS STUDIOS 20 20

6TH FLOOR: 34 UNITS STUDIOS 15 1BR

TOTAL: STUDIOS 53 (48%) 58 (52%) 1BR 111

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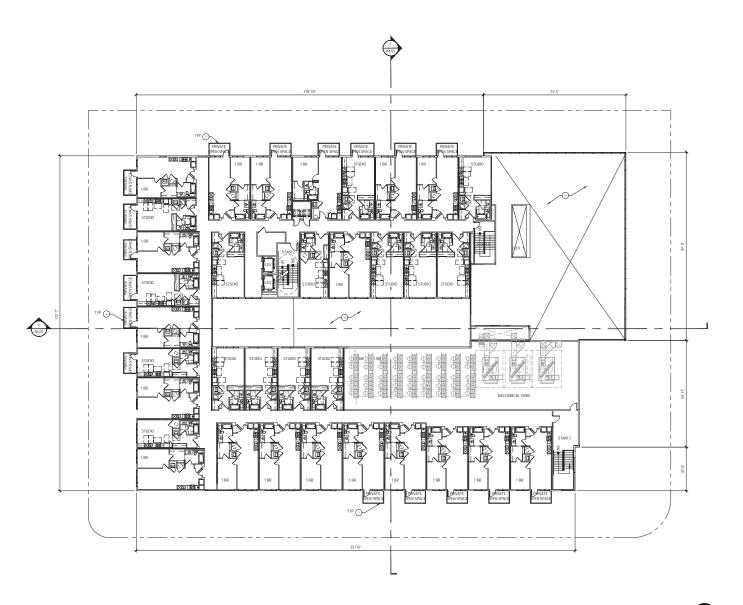
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02:22:2001 PRELIM PLANNING SUBMITTAL
07:30:2001 PRELIM PLANNING RESUBMITTAL II
07:30:2001 PRELIM PLANNING SUBMITTAL II
12:23:2021 2ND FORMAL PLANNING SUBMITTAL
12:23:2021 2ND FORMAL PLANNING SUBMITTAL

FIFTH LEVEL PLAN

A 2.05

FIFTH LEVEL PLAN
SCALE: 1/16"- 1'-0"



NOTE: NOT ALL KERNOTES LISTED MAY APPLY TO THIS DRAWNING.

CITEROR CLAUMS SYSTEM REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION

2 STRUCTURAL COLUMN

RESEDENTAL BACCORY

DITTEROR WALL REFER TO EXTEROR ELEVATIONS FOR FINESI SPECIFICATION

COMPAY ABOVE, SHOWN BUSINED

ESCA OF BACCORY WHITH OF HIGH GUARGIBRA, REFER TO EXTEROR ELEVATIONS FOR CUMBRIBAL SPECIFICATION

ROOF SCREEN

LOWS TERM SCRUEN BUYLE PARKING WITH DESIGNATED MAINTENANCE AREA SEE ALD TOR BUYCHE PARKING WITH DESIGNATED MAINTENANCE AREA SEE ALD TOR BUYCHE PARKING WITH DESIGNATED MAINTENANCE AREA SEE ALD TOR BUYCHE PARKING WITH DESIGNATED MAINTENANCE AREA SEE ALD TOR BUYCHE PARKING WITH DESIGNATED MAINTENANCE AREA SEE ALD TOR BUYCHE PARKING WITH DESIGNATED MAINTENANCE AREA SEE ALD TORS HOW TO A SEA SEA TO A SEA SEA

20) FIRE DEPT KNOX SHUT OFF LOCATION
21) LINE OF SOLID WASTE STAGING AREA

T23 SIDEN MALE UNITES COUNTRIMATER DRAINAGE SYSTEM

4TH FLOOR: 37 UNITS

STUDIOS 18 1BR 19

18 PATIO DIVIDERS

5TH FLOOR: 40 UNITS STUDIOS 20 1BR 20

6TH FLOOR: 34 UNITS STUDIOS 15 1BR 19

TOTAL: STUDIOS 53 (48%) 1BR 58 (52%) 111



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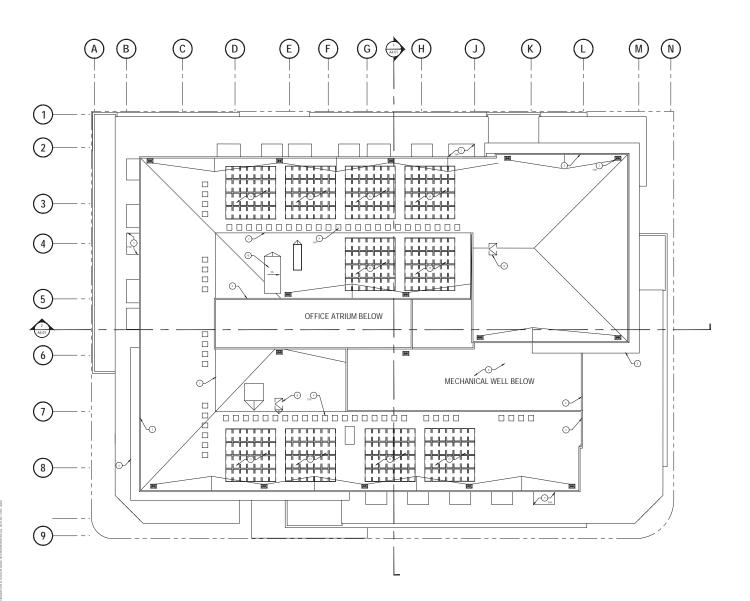
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 9401

DATE DESCRIPTION
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10730 2001 PRESUM PANNING SESUBMITTAL
12.23.2021 2MD FORMAR PANNING SUBMITTAL
12.23.2021 2MD FORMAR PANNING SUBMITTAL

SIXTH LEVEL PLAN

A 2.06

SIX LEVEL PLAN
SCALE: 1716'- 1'-0"



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1 RIDGE 2 ROOF DE

ROOF DRAIN AND OVERFLOW PARAPET WALL, SEE ELEVATION FOR HEIGHTS

ROOF SCREEN. SEE ELVATION FOR HEIGHTS

LINE OF CANOPY BELOW

ROOF ACCESS HATCH, 4'X6' MIN. (TO MEET SMMC 23.54.090.d2 SECURITY STANDARDS)

RESIDENTIAL ROOF TOP MECHANICAL UNITS: FINAL SIZE AND LOCATION TO BE DETERMINED

PER SAMAC 23 24 030
A 5 KW PHOTOVOCKTAIC SYSTEM REQUIRED FOR NON-RESIDENTIAL GREATER THAN 10,000
SQUAREE FEET
A 3 KW PHOTOVOCKTAIC SYSTEM REQUIRED FOR MUTLI-FAMILY RESIDENTIAL 17 UNITS OR

MOSE. REFICIENCY I SQUARE FOOT – IS WATTS
AT IS ARE WAITS – TOTAL SQUARE FEET REQUIRED
TOTAL SKWI IS WAITS – TOTAL SQUARE FEET REQUIRED
533.33 SQUARE FEET REQUIRED
OPPION I 1 & Z CONSIST OF ARRAYS OF 26 PANELS @ STANDARD 77"X39"
EACH OPTION PROVIDES 542 SQUARE FEET

### **ROOF PLAN GENERAL NOTES**

ROOFING TO A MINIMUM AGED SOLAR REFLECTANCE OF 0.70 AND A MINIMUM THERMAL EMITTANCE OF 0.85

2. A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 85



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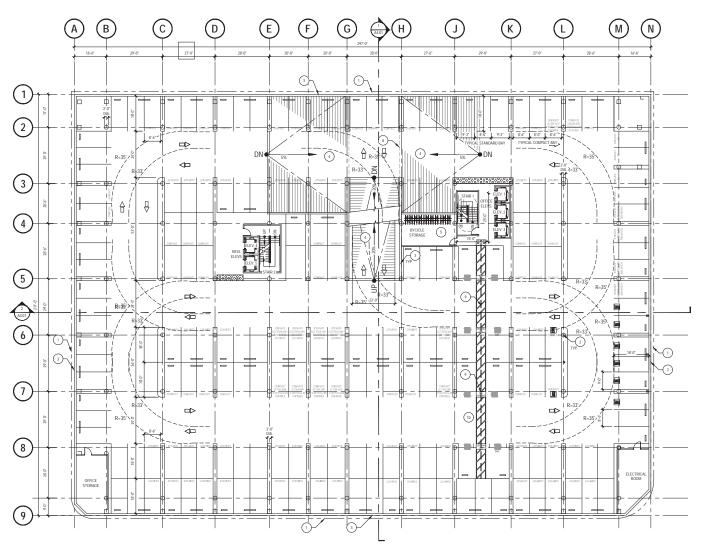
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.2021 PRELIM PLANNING SUBMITTAL
07.30.2021 PRELIM PLANNING RESUBMITTAL II
10.01.2021 STF CREMA PLANNING SESUMITTAL II
12.23.2021 ZND FORMAL PLANNING SUBMITTAL

ROOF LEVEL PLAN

A 2.31

ROOF LEVEL PLAN





NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

CONCRETE COLUMN CAST-IN-PLACE CONCRETE WALLS CONCRETE RAMP LONG-TERM SECURE OFFICE BICYCLE PARKING DASHED LINE INDICATES RAMP ABOVE VAN ACCESSIBLE EVCS STANDARD ACCESSIBLE EVCS AMBULATORY EVCS

# **FLOOR AREA**

P1 LEVEL:	
OFFICE:	64,346 SF
P2 LEVEL:	
OFFICE:	44,573 SF
RESIDENTIAL:	19,773 SF
TOTAL AREA:	128,692 SF

# PARKING CALCULATIONS

SLOPED PARKING SPACES BELOW RAMP ABOVE

P1 LEVEL	
OFFICE - TANDEM /TANDEM COMPACT STALLS	37 SPACES
OFFICE - STANDARD/COMPACT STALL STALLS <sup>1</sup>	158 SPACES
OFFICE: ADA/VAN ADA STALLS	8 SPACE
TOTAL OFFICE PROVIDED:	203 SPACE
P2 LEVEL	
RESIDENTIAL: STANDARD/COMPACT STALL STALLS <sup>1</sup>	50 SPACE
RESIDENTIAL: ADAVAN ADA STALLS	3 SPACES
TOTAL RESIDENTIAL PROVIDED:	53 SPACE
OFFICE - TANDEM /TANDEM COMPACT STALLS <sup>1</sup>	105 SPACE
OFFICE - STANDARD/COMPACT STALL STALLS	46 SPACE
TOTAL OFFICE PROVIDED:	151 SPACE

PARKING NOTES:

1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

PARKING ANALYSIS TABLE			
		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	341	346
	TOTAL NUMBER OF ACCESSIBLE STALLS	6	6
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	- 1

EV PARKING ANALYSIS TABLE			
		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	341	346
	TOTAL NUMBER OF EV READY STALLS (EVSE) <sup>1</sup>	5%-15	18
	TOTAL NUMBER OF EV CAPABLE STALLS (EV) <sup>12</sup>	10%=34	36
	TOTAL NUMBER OF EV VAN ACCESSIBLE <sup>2</sup>	- 1	- 1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS <sup>1</sup>	2	2
	TOTAL NUMBER OF EV AMBULATORY STALLS <sup>3</sup>	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56
	TOTAL NUMBER OF EV READY STALLS (EVSE) <sup>1</sup>	15%-9	9
	TOTAL NUMBER OF EV VAN ACCESSIBLE STALLS <sup>3</sup>	- 1	- 1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS <sup>3</sup>	0	0

- EV NOTES:

  1. EVAN DE DYSE PER SAMO: SECTION 22 70 DID FOR MALETIFAMILY AND 23 70 DIS FOR COMMERCIAL.

  2. PER CGGS SECTION 5 10 6.52 AND TABLE 5 10 6.52 BY LE, FE, CARPOOL/MAIPOOL MICLIOED IN THE USE SESCIOATED BY CAPABLE STALLS.

  3. PER CGG TABLE 118 2283.2.1

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS

(CBC TABLE TTB-208.2)			
TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT	
301-400	8	YES	

UIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B-208.2)			
AL PARKING MINIMUM SPACES REQUIRED		COMPLIANT	
26-50	2	YES	

26-50

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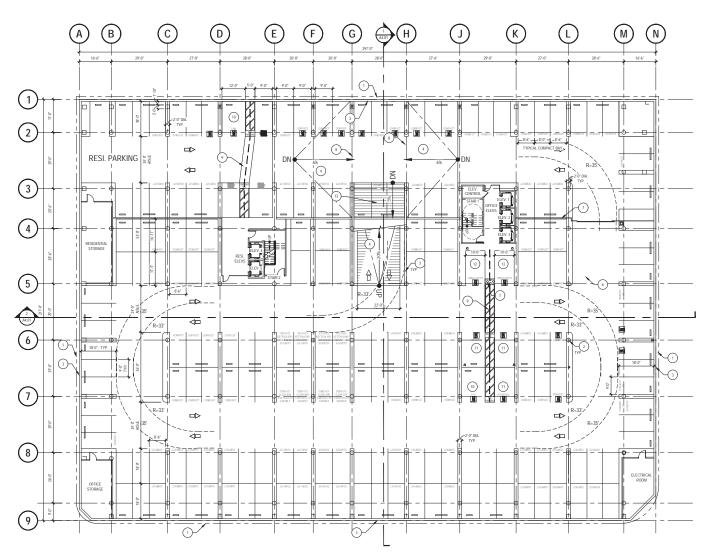
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.001 PRELIM PLANNING SUBMITTAL
07.30.001 PRELIM PLANNING RESUBMITTAL II
07.30.201 PRELIM PLANNING SUBMITTAL II
10.01.0021 STS FORMAR PLANNING SUBMITTAL
12.32.2021 2MD FORMAR PLANNING SUBMITTAL
07.30.2020 STREET FORMAR PLANNING SUBMITTAL

B1 LEVEL PLAN

AB 2.11





NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

PROPERTY LINE CONCRETE COLUMN CAST-IN-PLACE CONCRETE WALLS CONCRETE RAMP LONG-TERM SECURE OFFICE BICYCLE PARKING METAL FENCE DASHED LINE INDICATES RAMP ABOVE VAN ACCESSIBLE EVCS STANDARD ACCESSIBLE EVCS AMBULATORY EVCS

# **FLOOR AREA**

P1 LEVEL:	
OFFICE:	64,346 SI
P2 LEVEL:	
OFFICE:	44,573 SI
RESIDENTIAL:	19,773 SI
TOTAL AREA:	128,692 S

# PARKING CALCULATIONS

SLOPED PARKING SPACES BELOW RAMP ABOVE

BELOW GRADE PARKING PROVIDED P1 LEVEL
OFFICE - TANDEM TANDEM COMPACT STALLS
OFFICE - STANDARD/COMPACT STALL STALLS<sup>2</sup>
OFFICE - ADA/WAN ADA/STALLS
TOTAL OFFICE PROVIDED: 37 SPACES 158 SPACES 8 SPACES 203 SPACES RESIDENTIAL - ADAVAN ADA STALLS TOTAL RESIDENTIAL PROVIDED: 3 SPACES 53 SPACES OFFICE - TANDEM /TANDEM COMPACT STALLS<sup>1</sup> 105 SPACES OFFICE - STANDARD/COMPACT STALL STALLS TOTAL OFFICE PROVIDED: 46 SPACES 151 SPACES TOTAL PARKING PROVIDED: 407 SPACES

PARKING NOTES:

1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

PARKING ANALYSIS TABLE			
		REQUIRED	PROVIDE
COMMERCIAL USE	TOTAL NUMBER OF STALLS	341	346
	TOTAL NUMBER OF ACCESSIBLE STALLS	6	6
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	2	2
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	56	56
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	- 1

	REQUIRED	PROVIDE
TOTAL NUMBER OF STALLS	341	346
TOTAL NUMBER OF EV READY STALLS (EVSE) <sup>1</sup>	5%-15	18
TOTAL NUMBER OF EV CAPABLE STALLS (EV) <sup>12</sup>	10%=34	36
TOTAL NUMBER OF EV VAN ACCESSIBLE <sup>2</sup>	1	- 1
TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS <sup>3</sup>	2	2
TOTAL NUMBER OF EV AMBULATORY STALLS <sup>3</sup>	2	2
TOTAL NUMBER OF DEDICATED STALLS	56	56
TOTAL NUMBER OF EV READY STALLS (EVSE) <sup>1</sup>	15%-9	9
TOTAL NUMBER OF EV VAN ACCESSIBLE STALLS <sup>3</sup>	1	- 1
TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS <sup>1</sup>	0	0
	TOTAL NAMBER OF EV BEADY STALLS (EVSE)*  TOTAL NAMBER OF EV CAPABLE STALLS (EVSE)*  TOTAL NAMBER OF EV STANDARD ACCESSIBLE STALLS*  TOTAL NAMBER OF EV STANDARD ACCESSIBLE STALLS*  TOTAL NAMBER OF EV STANDARD ACCESSIBLE STALLS*  TOTAL NAMBER OF EV BEADY STALLS (EVSE)*  TOTAL NAMBER OF EV BEADY STALLS (EVSE)*  TOTAL NAMBER OF EV BEADY STALLS (EVSE)*	TOTAL NAMER OF EV READY STALLS (EVSE) 5915 TOTAL NAMER OF EV CAPARET STALLS (EVYE) 1091–34 TOTAL NAMER OF EV WALACCESSIBLE 7 TOTAL NAMER OF EV STANDARD ACCESSIBLE STALLS 2 TOTAL NAMER OF EV STANDARD ACCESSIBLE STALLS 2 TOTAL NAMER OF EV STANDARD ACCESSIBLE STALLS 3

- EV NOTES.

  1. EVAN DE DYSE PER SIMC'S ECTION 22 70 DID FOR MULTIFAMILY AND 22 70:50 FOR COMMERCIAL.

  2. PER CORS SECTION 5: 10.5.2 AND TABLE 5: 10.5.2 8% LE, FE, CARPOOL/MAIPOOL INCLUDED M IN 16 NS ESSIGNATED BY CAPARLE STALLS.

  3. PER CIBIC TABLE 118 22/81.2.1

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B-208.2)

TOTAL PARKING MINIMUM COMPLIANT

SPACES REQUIRED 301-400 8 YES

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS
(CBC TABLE 118-208.2)

TOTAL PARKING MINIMUM
SPACES REQUIRED COMPLIANT 51-75 YES 3

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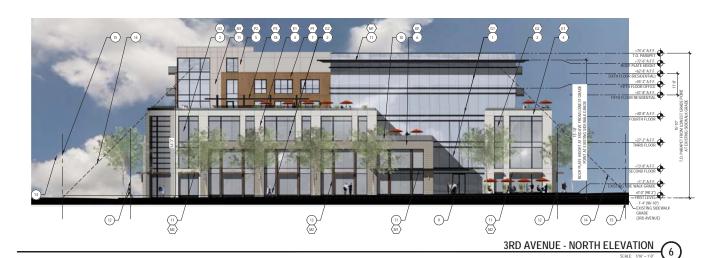
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
02.22.001 PREHIA PLANNING SLEWITTAL
04.21.201 PREHIA PLANNING SCHWITTAL
04.21.201 PREHIA PLANNING SESHBITTAL II
10.01.0201 TST FORMAL PLANNING SUBMITTAL
02.20.201 ZBD FORMAL PLANNING SLEWITTAL
03.29.2022 ZBD FORMAL PLANNING SLEWITTAL

B2 LEVEL PLAN

AB 2.12 PROJECT NO: 205207



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS

- 2 DESIDENTIAL NAIL EIN BLACK ALLIMINUM WINDOWS
- 4 EXTERIOR INSULATING FINISHING SYSTEM OVER METAL STUD FRAMING
- 5 CEMENT FIBERBOARD PANEL RAIN SCREEN WITH REVEAL OVER METAL STUD FRAME
- 6 GLASS FIRER REINFORCED CONCRETE PANEL OVER METAL STUD FRAME
- 8 ALLIMINUM AND GLASS BALCONY
- 9 ENTRY/EXIT DOOR
- 10 TEMPERED GLAZING GUARDRAIL
- 11 ALLIMINUM COMPOSITE METAL
- 12 EYDDESSED MILLION
- 14 REQUIRED STREET WALL SETBACK PER SAN MATED DOWNTOWN PLAN POLICIES SHOWN DASHED ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO IMMOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING SMILINGS AND ARBORS
- 15 CENTERLINE OF PUBLIC RIGHT OF WAY
- 16 ENTRY TO BELOW GRADE PARKING STRUCTURE
- 17 SECTIONAL OVERHEAD DOORS

# **MATERIAL PALETTE**

\* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1\* INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- ETT EXTERIOR INSULATING FINISHING SYSTEM COLOR: TO MATCH BM 1548 CLASSIC GRAY
- GF GLASS FIBER REINFORCED CONCRETE
  COLOR: TO MATCH BM 1552 RIVER REFLECTIONS
- GLAZING\* TYPE: COLOR:

1" INSULATED LOW TINT

(G2)

ALUMINUM SUNSCREEN FINISH TO MATCH
MANUFACTURER: REYNOBOND
SERIES: COLORWELD 500 XL
FINISH: CHARCOAL ALLIMINUM SUNSCREEN OR FIN FINISH TO MATCH

REYNOBOND STONE FINISHES ACIERO CORTEN

PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: BENJAMIN MOORE COLOR: BM 1548 CLASSIC GREY PAINT OVER STUCCO CEMENT BOARD

MANUFACTURER: BENJAMIN MOORE COLOR: BM 1125 ACORN

PAINT OVER STUCCO CEMENT BOARD
MANUFACTURER: DUNN EDWARDS
COLOR: DE 6357 BLACK TIE LRV 6



S. CLAREMONT STREET - WEST ELEVATION

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PLANNING APPLICATION FOR:
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BLOCK 21
SAN MATEO, CA 94401

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0222201 PREUM PLANNING SUBMITIAL
0730201 PREUM PLANNING RESUBMITIAL
0730201 PREUM PLANNING RESUBMITIAL
1001-0201 1ST FORMAR PLANNING SUBMITIAL
1223-0202 200 FORMAR PLANNING SUBMITIAL
1230202 200 FORMAR PLANNING SUBMITIAL

BUILDING ELEVATIONS

A3.01

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
- 1º INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES
  WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- 3 RESIDENTIAL NAIL FIN BLACK ALUMINUM WINDOWS
- 5 CEMENT FIBERBOARD PANEL RAIN SCREEN WITH REVEAL OVER METAL STUD FRAME
- 6 GLASS FIBER REINFORCED CONCRETE PANEL OVER METAL STUD FRAME
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 ALUMINUM AND GLASS BALCONY
- 10 TEMPERED GLAZING GUARDRAIL
- 12 EXISTING PROPERTY LINE
- 13 EXPRESSED MULLION
- 14 REQUIRED STREET WALL SETRACK PER SAN MATED DOWNTOWN PLAN POLICIES SHOWN DASHED. ALLOWARE INTRUSIONS AROVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING RAILINGS AND ARRORS
- 16 ENTRY TO BELOW GRADE PARKING STRUCTURE
- 18 PATIO METAL TRELLIS/SHADE

# MATERIAL PALETTE

\* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1\* INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT

- ET COLOR: TO MATCH BM 1548 CLASSIC GRAY
- GF GLASS FIBER REINFORCED CONCRETE
  COLOR: TO MATCH BM 1552 RIVER REFLECTIONS

- (G2)
- 1" INSULATED GRAY TINT
- ALUMINUM SUNSCREEN FINISH TO MATCH
  MANUFACTURER: REYNOBOND
  SERIES: COLORWELD 500 XL
  FINISH: CHARCOAL
- ALUMINUM SUNSCREEN OR FIN FINISH TO MATCH MANUFACTURER: REYNOBOND SERIES: STONE FINISHES FINISH: ACIERO CORTEN
- PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: BENJAMIN MOORE COLOR: BM 1548 CLASSIC GREY
- PAINT OVER STUCCO CEMENT BOARD MANUFACTURER: BENJAMIN MOORE COLOR: BM 1125 ACORN
- PAINT OVER STUCCO CEMENT BOARD
  MANUFACTURER: DUNN EDWARDS
  COLOR: DE 6357 BLACK TIE LRV 6



S. DELAWARE STREET - EAST ELEVATION

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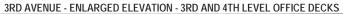
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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

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07:30:2001 PRELIM PLANNING SUBMITTAL II
12:23:2021 2ND FORMAL PLANNING SUBMITTAL
12:23:2021 2ND FORMAL PLANNING SUBMITTAL

BUILDING ELEVATIONS

A3.02





CORNER OF 3RD AVENUE AND S DELAWARE ST- ENLARGED ELEVATION

(12)



3RD AVENUE - ENLARGED ELEVATION - OFFICE LOBBY

A3.03

BUILDING ELEVATION DETAILS

PLANNING APPLICATION FOR:
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 Accordation with:

PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401

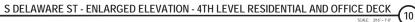
ATE DESCRIPTION

1007 PREUM PLANNING SUBMITI
2001 PREUM PLANNING RESUBMITIA
2001 PREUM PLANNING RESUBMITIA
2001 STF FORBMA PLANNING SUBMITIA
2001 STF FORBMA PLANNING SUBMITIA

BUILDING ELEVATION DETAILS

A3.04

S. CLAREMONT STREET RESIDENTIAL ENTRY - ENLARGED ELEVATION
SOLE: 107-107
4





S DELAWARE ST- ENLARGED ELEVATION - RESIDENTIAL DECK AND BALCONIES



S DELAWARE ST - ENLARGED ELEVATION - RESIDENTIAL LOBBY



CORNER OF S DELAWARE ST AND 4TH AVENUE - ENLARGED ELEVATION

BUILDING ELEVATION DETAILS A3.05











(P1)





(P3)

(P2)

# **MATERIAL PALETTE**

GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

(E1)	PAINT OVER EXTER COLOR TO MATCH:	IOR INSULTING FINISHING SYSTEM
_	MANUFACTURER: COLOR:	BENJAMIN MOORE 1548 CLASSIC GREY

(GF)	PAINT OVER GLASS I	FIBER REINFORCED	CONCRET
$\cup$	MANUFACTURER:	BENJAMIN MOORE	

31	TYPE:	1" INSULATED
	COLOR:	LOW TINT
	GLAZING*	

G2	GLAZING* TYPE:	1" INSULATED
	COLOR:	GRAY TINT
(M1)	ALUMINUM SUNSCREE MANUFACTURER:	N FINISH TO MATCH REYNOBOND

M2	ALUMINUM SUNSCREEN O	R FIN FINISH TO N
M2	MANUFACTURER:	REYNOBOND
	SERIES:	STONE FINISHE

- PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: BENJAMIN MOORE COLOR: BM 1548 CLASSIC GREY
- PAINT OVER STUCCO CEMENT BOARD MANUFACTURER: BENJAMIN MOORE COLOR: BM 1125 ACORN
- PAINT OVER STUCCO CEMENT BOARD
  MANUFACTURER: DLINN EDWARDS
  COLOR: DE 6357 BLACK TIE LRV 6



ARC TEC

ARCHITECTURAL TECHNOLOGIES

WWW.arctecinc.com

Arizona

Arizona

PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLCCK 21 SAN MATEO, CA 94401

MATERIAL BOARD

A3.06













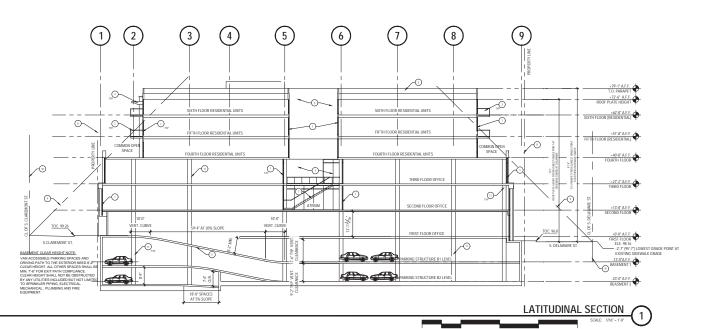


(E1)



 $\langle M2 \rangle$ 





EXTERIOR GLAZING SYSTEM

RESIDENTIAL BALCONY

BUILDING BEYOND

RAMP TO BELOW GRADE PARKING; FROM B1 TO B2 LEVEL PROFILE SECTION PER CITY STANDARD DRAWING 3-1-170.

ELEVATOR OVER RIDE BEYOND TEMPERED GLAZING GUARDRAIL

ATRIUM OPEN STAIR

8 EXISTING PROPERTY LINE

REQUIRED STREET WALL SETBACK PER SMMC 27.42.010 SHOWN DASHED. "ALLOWABLE INTRUSIONS ABOVE THE STREET WALL ARE LIMITED TO MINOR ARCHITECTURAL DETAILIN NOT EXCEEDING FOUR (FIFE THE HEGHT AND PARAPETS INCLUDING RAILINGS AND ARBORS AND LANDSCAPED PLANTING AREAS."

10 CENTERLINE OF PUBLIC RIGHT OF WAY
11 STRUCTURAL COLUMN

LONGITUDINAL SECTION

[2]

ARC TEC

ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona
2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California

1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121
The 'every' is provious after deconnistins absentially similar first state of the constant single, questions right.

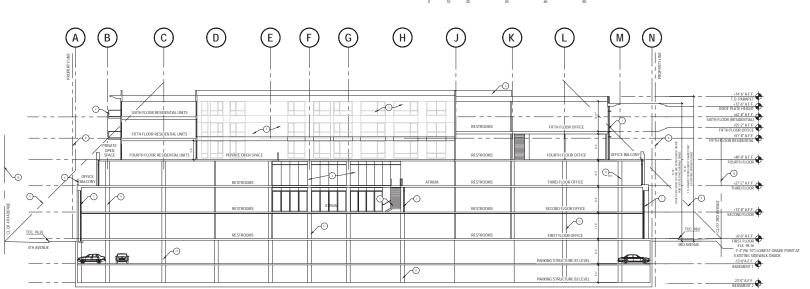
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DATE DESCRIPTION
0222001 PREUM PLANNING SUBMITUL
0421001 PREUM PLANNING RESUBMITUL
10410021 PREUM PLANNING SUBMITUL
10410021 1ST FORMUR PLANNING SUBMITUL
023-02021 2000 FORMUL PLANNING SUBMITUL
023-02022 3000 FORMUL PLANNING SUBMITUL
023-02022 3000 FORMUL PLANNING SUBMITUL

BUILDING SECTIONS

A 4.01

PROJECT NO:





VICINITY MAP

TITLE COMPANY:

ORDER NO. - PTR 9

NATURE OF TITLE - PTR 2: NATURE OF TITLE - PTR 6:

TITLE VECTED IN . DTD 2-

TITLE VESTED IN - PTR 4
TITLE VESTED IN - PTR 5
TITLE VESTED IN - PTR 6
TITLE VESTED IN - PTR 7

TITLE VECTED IN . DTD 0-

TITLE VESTED IN - PTR 9:

PROPERTY ADDRESS - PTR 1: PROPERTY ADDRESS - PTR 2: PROPERTY ADDRESS - PTR 3: PROPERTY ADDRESS - PTR 4: PROPERTY ADDRESS - PTR 5:

FIRST AMERICAN TITLE INSURANCE COMPANY

FEE SIMPLE FEE SIMPLE AS TO PARCEL ONE, AN EASEMENT AS TO PARCEL TWO AND THREE

663 HOMER LLC, A LIMITED LIABILITY COMPANY
BONROY INVESTMENTS LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
CALIFORNIA ANTIQUE VENDING MACHINES, INC., A CALIFORNIA CORPORATION
LOWIN ENTERPRISES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

CHRISTY LYNN ROBINSON AND SHERRY LEE BOSTIC, TRUSTEES OF THE JEANETTE ROBINSON 2014 TRUST

IRENE LEE, TRUSTEE OF THE SURVIVOR'S TRUST OF THE LEE REVOCABLE LIVING TRUST DATED OCTOBER 4, 1985, AN UNDIVIDED 25% INTERFCT:

312-320 SOUTH DELAWARE STREET, SAN MATEO, CA

ASSESSORS PANCEL NO. PPR 1.

GB4-185-179

ASSESSORS PANCEL NO. PPR 2.

GB4-185-010 APPECTS PANCEL NO. PPR 2.

GB4-185-010 APPECTS PANCEL NO. PPR 2.

GB4-185-010 APPECTS PANCEL NO. PPR 4.

GB4-185-010 APPECTS PANCEL NO. PPR 4.

GB4-185-100 APPECTS PANCEL NO. PPR 4.

GB4-185-100 APPECTS PANCEL NO. PPR 6.

GB4-185-100 APPECTS PANCEL NO. PPR 7.

GB4-185-100 APPECTS PANCEL NO. GB4-185-100 APPECTS PANCEL N

FFMA FLOOD INSURANCE RATE MAP NUMBER: 0608100154G

# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

# **BLOCK 21, AS DESIGNATED ON THAT CERTAIN MAP RECORDED** JANUARY 24. 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY

# LEGAL DESCRIPTION - PTR 1

REAL PROPERTY IN THE CITY OF SAN MATEO. COLINTY OF SAN MATEO. STATE OF CALIFORNIA. DESCRIPED AS FOLLOWS:

LOT 1, BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CAL.", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON JANUARY 24, 1862 IN BOOK 2 OF MISCELLANEOUS RECORDES AT PAGE 95, AND A COPY ENTREED IN BOOK 1 OF AMPS AT PAGE 1.

EXCEPTING THEREFROM THAT PORTION THEREOF CONDEMNED TO THE CITY OF SAN MATEO BY DECREE RECORDED JANUARY 05, 1971, AS BOOK 5880, PAGE 588 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

REAL PROPERTY IN THE CITY OF SAN MATEO. COLINTY OF SAN MATEO. STATE OF CALIFORNIA. DESCRIPED AS FOLLOWS:

LOTS 5 AND 6 IN BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO COUNTY, CAL", WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON JANUARY 24, 186: IN JURE 2 OF MOSCILLANCIOUS RECORDES AT PAGE 95, AND A COPY ENTRED IN JURE 10 FM APS AT PAGE 1.

## LEGAL DESCRIPTION - PTR 3

REAL PROPERTY IN THE CITY OF SAN MATEO. COUNTY OF SAN MATEO. STATE OF CALIFORNIA. DESCRIBED AS FOLLOWS

LOT 2 IN BLOCK 21, AS DESIGNATED ON THE MAP ENTITLED "MAP OF THE TOWN OF SAN MATEO, SAN MATEO COUNTY, CA.", WHICH MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON JANUARY 24, 1863 IN BOOK 2 OF MISCELLANDEOUS RECORDS AT PRAGE 93, AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 43.

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

# LEGAL DESCRIPTION - PTR 5

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS

IOT 12 AND THE SOUTHEASTINE VAR FEET, FRONT AND REAR MEASUREMENTS OF LOT 11, BLOCK 21, AC DESIGNATED ON THE MAP ENTITIED. THAN OF THE TOWN OF SHAN MATED, SAN MATED, SAN MATED COUNTY, CALL, "WHICH MAP WAS TELED IN THE OFFICE THE RECORDER OF THE COUNTY OF SAN MATED, STATE OF CALIFORRIA ON IMPAGENZY 24, 1983, MISCELLANGUIS RECORDS 2, PAGE 59, AND COPIED INTO MAP BOOK 1, PLAGE 42, SAN MATED COLUMNY RECORDS.

# LEGAL DESCRIPTION - PTR 6

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS

A NON-EXCLUSIVE EASEMENT FOR WALKWAY, PUBLIC UTILITIES AND LIGHT AND AIR, APPURTENANT TO PARCEL 1 ABOVE AS GRANTED TO HERBERT W. WALCOTT, ET UK, BY DEED RECORDED DECEMBER 15, 1964, BOOK 4859 OF PAGE 420 OVER ACROSS A STRIP OF LAND DESCRIBED AS FOLLOWS:

A PORTION OF LOT 11, BLOCK 21, MAP OF THE TOWN OF SAN MATEO, FILED JANUARY 24, 1863, MAP BOOK 2, PAGE 95, AND A COPY ENTERED IN MAP BOOK 1, PAGE 455, SAN MATEO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

THE RIGHT OF USE OF A RAIN GUTTER AND DOWN SPOUT, FOR THE DISPOSAL OF RAIN WATER, EXTENDING ALONG THE ENTIRE LENGTH OF THE SOUTHEASTERLY LINE OF THE ABOVE DESCRIBED PROPERTY AND LYING WITHIN THE BOUNDARY OF GRANTORS

# LEGAL DESCRIPTION - PTR 7

REAL PROPERTY IN THE CITY OF SAN MATEO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

### LEGAL DESCRIPTION - PTR 9

REAL PROPERTY IN THE CITY OF SAN MATEO. COUNTY OF SAN MATEO. STATE OF CALIFORNIA. DESCRIBED AS FOLLOWS:

# EXCEPTIONS TO COVERAGE - PTR 1

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021, A LIEN NOT YET DUE OR PAYABLE.

- NOT A SURVEY MATTER
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS

# EXCEPTIONS TO COVERAGE - PTR 2

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021, A LIEN NOT YET DUE OR PAYABLE
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

  NOT A SURVEY MATTER

DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.

DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 10, 1990 AS INSTRUMENT NO. 90-160278 OF OFFICIAL RECORDS.

# PLOTTED - BLANKET IN NATURE OVER PTR 2 PARCEL

- WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDESTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTESTES IT IN THE SUBJECT PROPERTY.

# EXCEPTIONS TO COVERAGE - PTR 3



- NOT A SURVEY MATTER
- NOT A SURVEY MATTER

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021, A LIEN NOT YET DUE OR PAYABLE NOT A SURVEY MATTER

AMIR SHAHMIRZA AND KRISTINE SHAHMIRZA. HUSBAND AND WIFE AS JOINT TENANTS ALLIANCE TITLE OF AMERICA, INC.

INDVMAC BANK F.S.R. A FEDERALLY CHARTERED SAVINGS BANK

663 HOMER LLC & CALIFORNIA LIMITED LIABILITY COMPAN

CHICAGO TITLE COMPANY, A CALIFORNIA CORPORATION AMKALINC., A CALIFORNIA CORPORATION

THE EFFECT OF A DOCUMENT ENTITLED "SUBSTITUTION OF TRUSTEE AND FULL RECONVEYANCE", RECORDED MAY 21, 2020 AS INSTRUMENT NO 2020 ASSISTED FOR DESCRIPTION OF TRUSTEE AND FULL RECORDED MAY 21, 2020 AS INSTRUMENT NO 2020 ASSIST

NOT A SURVEY MATTER

- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- NOT A SURVEY MATTER



ALTA

# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

# **BLOCK 21, AS DESIGNATED ON THAT CERTAIN MAP RECORDED** JANUARY 24. 1862 IN BOOK 2 OF MISCELLANEOUS RECORDS AT PAGE 95. AND A COPY ENTERED IN BOOK 1 OF MAPS AT PAGE 45

AS DESCRIBED IN THE PRELIMINARY COMMITMENTS FOR TITLE INSURANCE REFERENCED HEREON, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY

PLOTTED

SECOND INSTALLMENT: \$28.031.96. OPEN TAX RATE AREA: NOT A SURVEY MATTER

- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
- IN FAVOR OF: CARLO MICHELETTI AND LOUISE MICHELETTI, HIS WIFE AS JOINT TENANTS

WELLS FARGO BANK NATIONAL ASSOCIATION

NOT A SURVEY MATTER

- NOT A SURVEY MATTER
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. NOT A SURVEY MATTER
- NOT A SURVEY MATTER

# EXCEPTIONS TO COVERAGE - PTR 6

- GENERAL AND CRECIAL TAYER AND ACCESSMENTS FOR THE EIGHAL VEAR 2021, 2022, A LIEN NOT VET THE OR BAYARD

TAX RATE AREA: NOT A SURVEY MATTER

THE LIEN OF DEFAULTED TAXES FOR THE FISCAL YEAR 2015, AND ANY SUBSEQUENT DELINQUENCIES.

TAX RATE AREA: AMOUNT TO REDEEM: \$28,424.90 VALID THROUGH AMOUNT TO REDEEM: VALID THROUGH:

- LEASE CONTACT THE TAX OFFICE TO VERIFY THE PAYOFF AMOUNT
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE. NOT A SURVEY MATTER
- AN EASEMENT FOR THE RIGHT TO USE A PARTY WALL AND THAT PORTION OF A RAIN GUTTER AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1964 AS INSTRUMENT NO. 97729-X IN BOOK, REL 4859, PAGE/IMAGE 420 OF OFFICIAL RECORDS. IN FAVOR OF:

  CARLO MICHELETTI AND LOUSE MICHELETTI

NOT A SURVEY MATTER

COLONIAL SAVINGS AND LOAN ASSOCIATION OF WESTERN KANSAS

NOT A SURVEY MATTER

A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$28,000.00 RECORDED APRIL 10, 1986 AS INSTRUMENT NO.

WESTERN TITLE INSURANCE COMPANY, A CORPORATION RALF H. STINSON, A MARRIED MAN

8. A FINANCING STATEMENT RECORDED APRIL 10, 1986 AS INSTRUMENT NO. 86037644 OF OFFICIAL RECORDS. COLONIAL SAVINGS AND LOAN ASSOCIATION OF WESTERN KANSAS

CALIFORNIA ANTIQUE VENDING MACHINES INC. ROBERT B. HAM INC., A CALIFORNIA CORPORATION KAPLAN 1982 REVOCABLE TRUST

NOT A SURVEY MATTER

- 10 THIS ITEM HAS BEEN INTENTIONALLY DELETED.

AMOUNT:

CALIFORNIA ANTIQUE VENDING MACHINES, INC. FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION CHARLES MARCOSIS AND JEANNE MARCOSIS NOT A SURVEY MATTER

12. A CERTIFIED COPY OF A JUDGMENT OR AN ABSTRACT THEREOF, RECORDED NOVEMBER 16, 2011 AS INSTRUMENT NO.

CIV492637 STEPHEN L. SQUIRES AND CALIFORNIA ANTIQUE VENDING MACHINES, INC DEBTOR: \$871,575.00, AND ANY OTHER AMOUNTS DUE THEREUNDER.

NOT A SURVEY MATTER

- EXCEPTIONS TO COVERAGE PTR 7

- 3. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$137.740.00 RECORDED MARCH 31, 1980 AS INSTRUMENT NO.

# NOT A SURVEY MATTER

A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$500,000.00 RECORDED JULY 24, 2013 AS INSTRUMENT NO. 2013-108059 OF OFFICIAL RECORDS. DATED: TRUSTOR:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
FIRST REPUBLIC BANK WHICH IS ORGANIZED AND EXISTING UNDER THE LAWS OF CALIFORNIA

(AFFECTS BOTH PARCELS)

DOCUMENT STATES THAT IT IS FOR CROSS-DEFAULT/CROSS-COLLATERALIZATION.

THE ABOVE DEED OF TRUST STATES THAT IT SECURES AN EQUITY LINE/REVOLVING LINE OF CREDIT. PRIOR TO THE PAYMENT AND SUSPENSION OF THE EQUITY LINE/REVOLVING LINE OF CREDIT, AN INSTRUCTION TO SUSPEND AND CLOSE THE EQUITY LINE/REVOLVING LINE OF CREDIT PURSUANT TO CA CIVIL CODE SECTION 2843. MUST BE EXECUTED BY THE BORROWER

- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "CITY OF SAN MATEO PLANNING DIVISION CONTRIBUTIONS OF ARRESTMAN " RECORDED ANGUIST 22 2017 AS INSTRUMENT AND 2017 AVAILABLE OF ORDIGINAL RECORDS.

NOT A SURVEY MATTER

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS

# EXCEPTIONS TO COVERAGE - PTR 8

- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022, A LIEN NOT YET DUE OR PAYABLE.
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

TAX RATE AREA:

NOT A SURVEY MATTER

- PENALTY: SECOND INSTALLMENT: \$10,375.62, OPEN
- THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE. NOT A SURVEY MATTER
- 4 THIS ITEM HAS BEEN INTENTIONALLY DELETED

- WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY.
- ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES
  ACT. 1930 (7 U.S.C. \*\*\*\*\*\*\*EF-SEQ.) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. \*\*\*\*\*\*\*\*EF-SEQ.) OR UNDER SIMILAR

CONSIDERATION FOR THE DELETION OF THIS EXCEPTION IS HIGHLY FACT INTENSIVE. PLEASE CONTACT THE UNDERWRITER ASSIGNATED TO WALL FOR SOME AS SOCIAL TO DESCRIP

- 8. THIS ITEM HAS BEEN INTENTIONALLY DELETED

- THE DATES OF THE RELD SURVEY ARE AS FOLLOWS: OCTOBER 21, 2020, CYCOBER 22, 2020, AND MARCH 31, 2021. THE SUBBECT PROPRIESS HAVE DISSECT CHICHICURA PACCESS TO AND FROM SOUTH CABENDATI STREET, EATS ARE AVENUE, SOUTH DELAWARE STREET, AND/OR EAST 4TH AVENUE, PUBLICLY DEDICATED RIGHTS OF-WAY, AS SHOWN ON THE SURVEY HERSON WHATER BOYCATED BY ARROW LEARLED "STEE ACCESS."

  IN BESTERNICE TO ITEM 2 OF TABLE "A", THE ADDRESSES OF THE SUBJECT PROPRIETIES ARE AS SHOWN ON SHEET 1 OF THIS CHIPPLY.
- IN REFERENCE TO ITEM 3 OF TABLE "A", THE SUBJECT PROPERTY HAS BEEN DETERMINED TO BE WITHIN FLOOD ZONE "X", AS STATED ON SHEET 1 OF THIS SURVEY.
- IN REFERENCE TO ITEM 8 OF TABLE "A". AS SHOWN ON THE SURVEY HEREON.
- IN REFERENCE TO ITEM 14 OF TABLE 'A", THE SUBJECT BLOCK IS BOUNDED BY SOUTH CLAREMONT STREET, EAST 3RD AVENUE, SOUTH DELAWARE STREET AND EAST 4TH AVENUE.
- NERVEL, SOUTH DELAWARE STREET AND EAST 41 HAVENOL.
   IN REFERENCE TO ITEM 16 OF TABLE "A", NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

# UTILITY STATEMENT

CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR(S) SHALL VERIFY ALL UTILITIES PRIOR TO ANY AND ALL CONSTRUCTION

# BASIS OF BEARINGS

# SURVEYORS STATEMENT

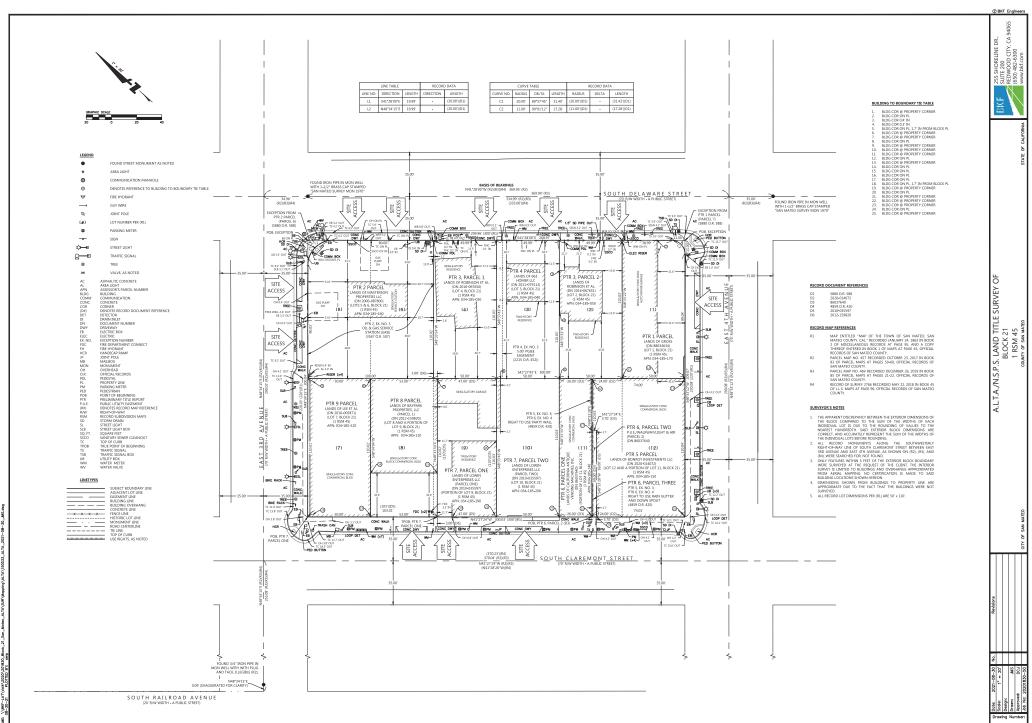
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2003 MAINIAM HAY STANDARD DETAIL SPOTHER AND ADOPTED BY

THE FIELD WORK WAS COMPLETED ON MARCH 31, 2021.



MAS DCJ

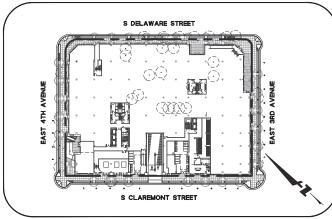
ALTA



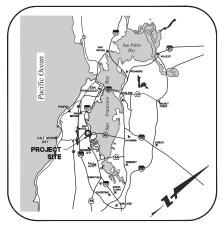
ALTA

# BLOCK 21 PLANNING SUBMITTAL

CITY OF SAN MATEO, SAN MATEO COUNTY, CALIFORNIA



# SITE PLAN



LOCATION MAP

	SHEET INDEX
Sheet Number	Sheet Title
C1.01	TITLE SHEET
C1.02	NOTES, LEGEND & ABBREVIATIONS
C2.01	EXISTING CONDITIONS
C2.02	PRELIMINARY PARCEL MAP
C3.01	PRELIMINARY HORIZONTAL CONTROL PLAN
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY STORMWATER CONTROL PLAN
C6.02	PRELIMINARY SWCP NOTES

# PROJECT BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED VERTICAL DATUM.
BKF CONTROL POINT #10, A CUT CROSS IN CONCRETE IN THE NORTHERLY RIGHT OF WAY
OF 3RD AVENUE, WAS TAKEN AS THE SITE BENCHMARK FOR THIS PROJECT

BKF CONTROL POINT #10 ELEVATION = 100.00'

# BASIS OF BEARINGS

TO BEARINGS

THE BEARING OF NORTH 412800\* WEST ALONG THE CENTERLINE OF SOUTH DELAWARE STREET,
AS SHOWN ON THAT CERTIAIN PARCEL MAP 489 RECORDED DECEMBER 26,2019 IN BOOK 85
OF PARCEL MAPS AT PAGES 21–22. OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN
AS THE BASIS OF BEARINGS FOR THIS SURVEY.

# PROJECT SUMMARY

APPLICANT MICHAEL FIELD

WINDY HILL PROPERTY VENTURES 530 EMERSON STREET, SUITE 150

PALO ALTO, CA 94301 650.847.1266

ARCHITECT

EVAN SOCKALOSKY ARCHITECTURAL TECHNOLOGIES 1731 TECHNOLOGY DRIVE, SUITE 750

SAN JOSE, CA 95110 408.496.0676

LANDSCAPE ARCHITECT

KLA INCORPORATED 151 S NORLIN STREET SONORA, CA 95370 209.532.2856

CIVIL ENGINEER ALYSSA JACOBSON, PE

DRF ENGINEERS 150 CALIFORNIA STREET, SUITE 600 SAN FRANCISCO, CA 94111 415.930.7900

WINDY HILL PROPERTY VENTURES 530 EMERSON STREET, SUITE 150 OWNER

PALO ALTO, CA 94301

65,902 SF (1.51 AC) TOTAL AREA

EXISTING ZONING CBD/S-CENTRAL BUSINESS SUPPORT

EXISTING LAND USE DOWNTOWN RETAIL CORE SUPPORT

DOWNTOWN RETAIL CORE SUPPORT THE PROPOSED PROJECT CONSISTS OF A 6 STORY MIXED-USE BUILDING CONSISTING OF 237,083 SF. PROPOSED LAND USE

UTILITIES

WATER SUPPLY: CALIFORNIA WATER SERVICE

FIRE PROTECTION: SAN MATEO CONSOLIDATED FIRE SEWAGE DISPOSAL: CITY OF SAN MATEO STORM DRAIN: CITY OF SAN MATEO

PACIFIC GAS & ELECTRIC GAS & ELECTRIC:

TELEPHONE: COMCAST CABLE TELEVISION: COMCAST

# **APPROVALS**

# ENGINEER'S STATEMENT

THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

august ALYSSA JACOBSON, P.E. PROJECT MANAGER BKF ENGINEERS

03/29/2022 DATE

MOUN

MICHAEL O'CONNELL, P.E. ASSOCIATE BKF ENGINEERS

03/29/2022 DATE



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION

DATE

TITLE SHEET

C1.01

# GENERAL NOTES

- 1. BOUNDARY: BOUNDARY INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF DATED 08/30/2021.
- 2. SOURCE OF TOPOGRAPHY: EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 08/30/2021.
- 3. GRADING: SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.
- 4. <u>UTILITIES:</u> UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.
  - A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.
  - B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.
  - C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
  - D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
  - E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.
- 8. FEMA DESIGNED FLOOD ZONE: FLOOD ZONE 'X'; OTHER AREAS TO DE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD
  PER FLOOD INSURANCE RATE MAP NUMBER 06081C0154G DATED
- 9. LANDSCAPE PLAN: LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

# FIRE DEPARTMENT NOTES

- A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.
- 2. IN ACCORDANCE WITH THE MUNICIPAL/ REGEIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO PERMIT, NO FIRE SPRINGERS 37518M DRAIN STRALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE INTO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SAINTARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

# UNDERGROUND STORAGE TANKS

I. PRIOR TO BUILDING PERMIT ISSUANCE, THE PROJECT MUST BE SUBMITTED TO THE SAN MATEO COUNTY HEALTH DEPARTMENT FOR REVIEW OF THE PROPOSED REMOVAL OF THE EXISTING UNDERGOUND STORAGE TANK ("UST") AND ASSOCIATED PIPING ON

LEGEND		
SITE BOUNDARY	PROPOSED	EXISTING
COUNTY BOUNDARY		
LOT LINE		
CONTOUR LINE	100	100
FENCE	×	x
STORM DRAIN		
SANITARY SEWER		ss
WATER MAIN	— w —	w
FIRE WATER MAIN	FW	
GAS LINE		—— GAS ——
JOINT TRENCH	— Е —	— Е —
SANITARY SEWER CLEAN OUT	● <sub>co</sub>	
SANITARY SEWER MANHOLE	•	(S)
STORM DRAIN CURB INLET		
STORM DRAIN MANHOLE		$\circ$
STORMFILTER		
DETECTOR CHECK & METER		
COMPOUND METER		
FIRE DEPARTMENT CONNECTION	•;	
FIRE HYDRANT	•••	+0+
WATER VALVE	H	M
MONUMENT	0	
TRANSFORMER		
BIKE RACK	1111	
STREET LIGHT	— <del>\</del> \	*
INLET PROTECTION	8	-1-
POLE LIGHT		
STORM DRAIN CLEAN OUT	•	
STORM DRAIN AREA DRAIN		
STORM DRAIN CATCH BASIN	·	
OVERHEAD WIRES	1000	— он —
STREET SIGN	_	
SPOT ELEVATION	TC 8.70	TC 8.70
FRESH AIR INLET	×	×
WATER METER		
BACK FLOW PREVENTER	البليا	MM
AUXILIARY WATER SUPPLY SYSTE	. ==	
JOINT POLE	м	AWSS
		8
TREE		36

# **ABBREVIATIONS**

S SAN. SD SDCB SF SFDPW SFPUC S.E.P.

SD SDAD SDCO SDDI SDMH S.F.P.P. SMGP S.J.T.P. SL SLB S.L.P. S.P.P.

S.P.P.
SS
SS
SSCO
SSMH
ST
STA
STD
T&G
TT
TEL, TELE
TBD
TC
TP

TP TRANS TRC TSB TTC TWELL TYP

VC V, VERT VG UB U.C.D. USA W WM WM WV

STATION STANDARD

ONGUE AND GROVE

TONGUE AND GROVE TELEPHONE TO BE DETERMINED TOP OF CURB TOP OF PAVMENT TRANSFORMER TOP OF RETAINING CURB TRAFFIC SIGNAL BOX THEORETICAL TOP OF CURB TREE WELL

TREE WELL
TYPICAL
VERTICAL
VERTICAL
VERTICAL
VERTICAL
VERTICAL
VERTICAL
UTILITY BOX
UNDERGROUND COMMERCIAL DISTRIBUTION
UNDERGROUND SERVICE ALERT
WATER METER
WATER METER
WATER METER

DELTA AGGREGATE BASE ASPHALT CONCRETE ASBESTOS CEMENT PIPE AREA DRAIN ADJACENT APPENDIX
ACCESS POINT NAME
AUXILIARY WATER SUPPLY SYSTEM AWSS
B/W, BW
BC
BCR
BFP
BLD, BLDG
BTM
BRC
BVCE
BVCS
BSW
C&G
CB
CCP BACK OF WALK
BEGINNING OF CURVE
BEGINNING CURB RETURN
BACKFLOW PREVENTER BACKFLOW PREVENTER
BUILDING
BOTTOM OF RETAINING CURB
BEGIN VERTICAL CURVE ELEVATION
BEGIN VERTICAL CURVE STATION
CURB AND GUTTER
CATCA BASIN
CONCRETE CYLINDER PIPE CENTER LINE CLEARANCE CLEANOUT CL, ©
CLR
CO
COMM
CONC
COR
CS
CSMH
CATV, CTV
DSDA
DI
DIA
DMA
DMA
DMC, DU
DW
DWG
DWY CLEANDUI
TELECOM
CONCRETE
COMPIEN
COMINED
COMBINED SEWER
COMBINED SEWER MANHOLE
CABLE TELEVISION
DOUBLE CHECK DETECTOR ASSEMBLY
DROP. INLET DROP INLE!
DIAMETER

PRAINAGE MANAGEMENT AREA
DOCUMENT

DOMESTIC WATER

DRAWING

DRIVEWAY
EAST FLEC FLECTRIC ELECTRIC BOX
END OF CURVE
ENTRUCED CONCRETE CURB
ENTRUCED CONCRETE CURB
ENTRUCED CONCRETE CURB
ENTRUCED CONCRETE
ELECTRIC GENERAL
ELECTRIC GENERAL
ELECTRIC METTER
ELECTRIC METTER
END CERTICAL CURVE ELEVATION
END VERTICAL CURVE ELEVATION
END VERTICAL CURVE
ENTRUCED
ENTRUCED FASE FSMT EASEMENT ELEV EP EVCE EVCS EX, EXIST FC FDC FF FG FH FNC FNC FS FT FW G FW G GB GM GND GPM GR GV HASP HCAP HC, HCR HDPE HP, HOR7 HP H, HORZ ID INV IRR JP JT INV
IRRIGATION
JOINT POLE
JOINT TRENCH
LENGTH LENGTH TO THE CONTROL OF T L/C, LS LG LID LOW LT LSCP LT MAX MB MIN MH MPWD MANHOLE MID-PENINSULA WATER DISTRICT NORTH NOT TO SCALE N NTS NO. OC OD OH, O.R. PCC PDL PRC PCL PERF PG&E PKG NOT TO SCALE
NUMBER
OFF CENTER
OFF CENTER
OVERHEAD
OFFICIAL RECORD
PORTLAND CEMENT CONCRETE
PEDESTAL
POINT OF REVERSE CURVATURE PARCEL PARCEL
PERFORATED
PACIFIC GAS & ELECTRIC

PACIFIC GAS & ELECTRIC
PARKING
PARKING
PARKING
PARKING METER
PARKING MET

# SYMBOL LEGEND RIGHT OF WAY REDWOOD CITY SLOPE, SOUTH STORM DEAN STORM DEAN STORM DEAN CATCH BASIN SOUARE FEET SP DEPARTMENT OF PUBLIC WORKS SF PUBLIC UTILITIES COMMISSION SEE ELECTRICAL PLANS

SYMBOL A C1.01

DESCRIPTION

DETAIL SECTION A ON SHEET C1.01



SEE ELECTRICAL PLANS
SIDEWALK

DETAIL A ON SHEET C1.01





ENTURE > PROPERTY

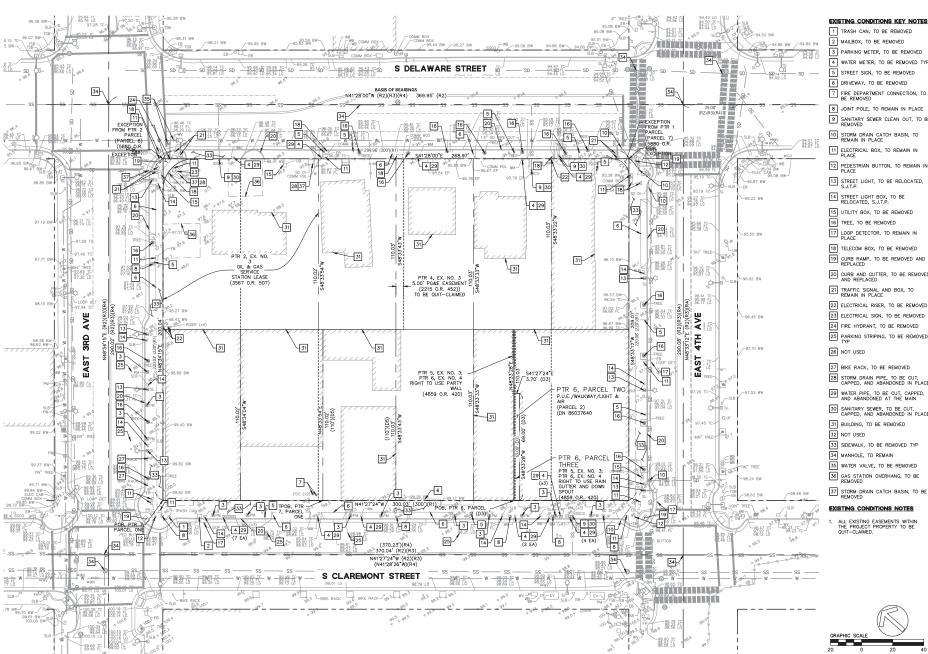
PLANNING APPLICATION | WINDY HILL PRO CA 94401 WINDY HI BLOCK 21 SAN MATEO, 0

DATE

DESCRIPTION

NOTES, LEGEND & **ABBREVIATIONS** 

C1.02



# EXISTING CONDITIONS KEY NOTES

- 1 TRASH CAN, TO BE REMOVED
- 4 WATER METER, TO BE REMOVED TYP
- 5 STREET SIGN, TO BE REMOVED
- FIRE DEPARTMENT CONNECTION, TO BE REMOVED
- 8 JOINT POLE, TO REMAIN IN PLACE 9 SANITARY SEWER CLEAN OUT, TO BE REMOVED
- 10 STORM DRAIN CATCH BASIN, TO REMAIN IN PLACE
- 11 ELECTRICAL BOX, TO REMAIN IN PLACE
- 3 STREET LIGHT, TO BE RELOCATED,
- 14 STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
- 15 UTILITY BOX, TO BE REMOVED
- 16 TREE, TO BE REMOVED
- 17 LOOP DETECTOR, TO REMAIN IN PLACE
- 18 TELECOM BOX, TO BE REMOVED 19 CURB RAMP, TO BE REMOVED AND REPLACED
- 20 CURB AND GUTTER, TO BE REMOVED AND REPLACED
- 21 TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE
- 22 ELECTRICAL RISER, TO BE REMOVED 23 ELECTRICAL SIGN, TO BE REMOVED
- 24 FIRE HYDRANT, TO BE REMOVED 25 PARKING STRIPING, TO BE REMOVED
- 27 BIKE RACK, TO BE REMOVED
- 28 STORM DRAIN PIPE, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
- WATER PIPE, TO BE CUT, CAPPED, AND ABANDONED AT THE MAIN
- 30 SANITARY SEWER, TO BE CUT, CAPPED, AND ABANDONED IN PLACE
- 31 BUILDING, TO BE REMOVED
- 34 MANHOLE, TO REMAIN
- 35 WATER VALVE, TO BE REMOVED
- 36 GAS STATION OVERHANG, TO BE REMOVED

ALL EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY TO BE QUIT-CLAIMED.

**EXISTING** CONDITIONS

VENTURES

WINDY HILL PROPERTY BLOCK 21 SAN MATEO, CA 94401

DESCRIPTION



C2.01

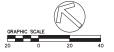




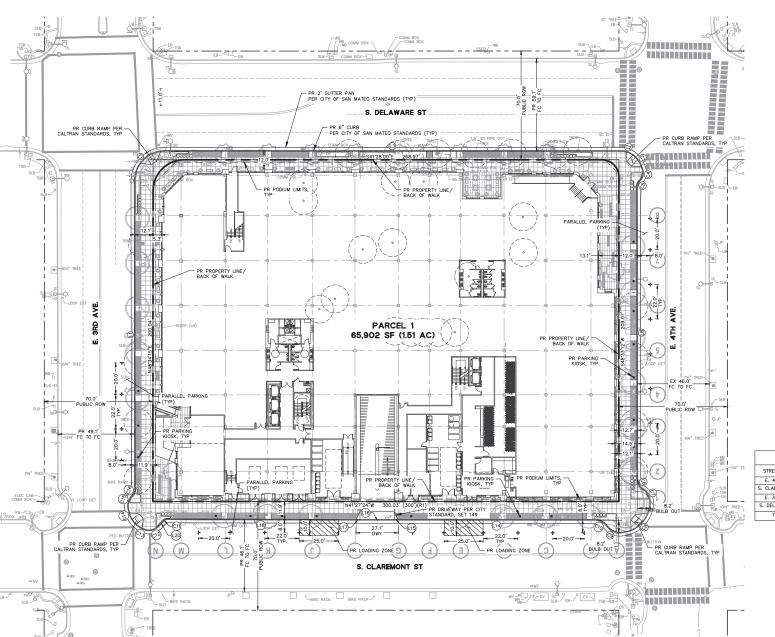
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION

PRELIMINARY PARCEL MAP



C2.02

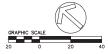


LINE TABLE								
LINE NO.	LENGTH	DIRECTION						
L1	197.66	N48"29'12"E						
L3	292.50	S41"25'46"E						
L8	185.78	S48'29'16"W						
L14	125.75	N41'25'57"W						
L15	3.00	N41*25'19"W						
L16	22.06	N41*25'31"W						
L17	3.00	N41'23'48"W						
L18	121.63	N41"19'50"W						
L20	2.70	N89'21'38"W						



-	4.		
	CURVE	TABLE	
CURVE NO.	LENGTH	RADIUS	DELTA
C1	31.45	20.00	090'05'01
C2	9.95	13.44	042*23'10
C3	9.94	17.40	032*43'33
C4	8.43	7.35	065*41'14'
C5	6.00	7.51	045*48'22
C6	9.37	10.00	053'41'57
C7	9.39	10.00	053'49'41
C8	31.42	20.00	090,00,00
C9	9.42	10.00	053*57'29
C10	9.42	10.00	053*57*41
C11	2.82	5.76	028'05'53
C12	9.52	9.92	054*56'59
C13	12.39	16.76	042*22'34
C14	7.95	22.16	020*32'25
C15	9.40	10.28	052*23'53
C16	4.41	5.42	046*40'09

MARKED STREET PARKING								
STREET NAME	NO. OF EXISTING STALLS	NO. OF PROPOSED STALLS						
E. 4TH AVE.	0	7						
S. CLAREMONT ST	9	9						
E. 3RD AVE.	3	3						
S. DELAWARE ST	0	0						
TOTAL	12	19						



C3.01

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION

PRELIMINARY HORIZONTAL CONTROL PLAN



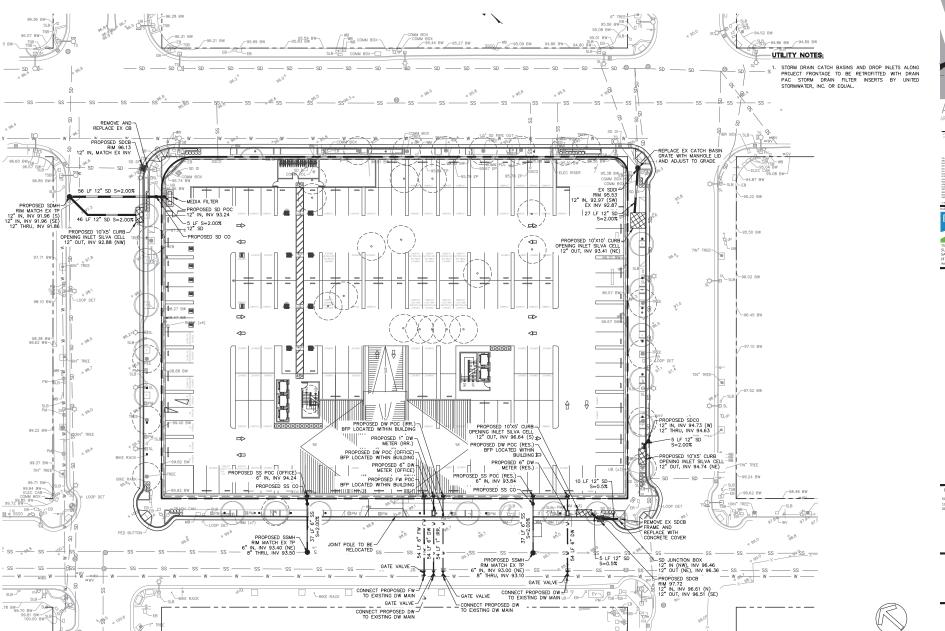


PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION PLANNING SUBMITTAL PLANNING SUBMITTAL II 4TH FORMAL PLANNING SUBMITTAL

**PRELIMINARY** GRADING PLAN

C4.01



ARC TEC

ARC TEC

CHITECTURAL TECHNOLOGIES

WWW.arctecinc.com

1783 Technology Drive, Sulter 750 and Joseph Child St. Sulter 750 and Joseph Can Political Addition of the Selection of the S



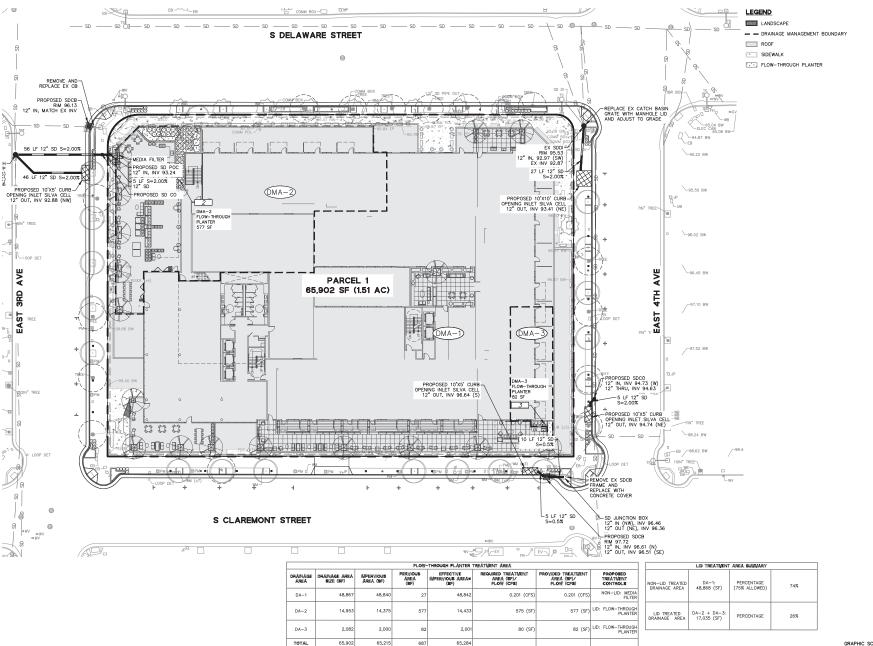
# PLANNING APPLICATION FOR: WINDY HILL PROPERTY VENTURES BLOCK 21 SAN MATEO, CA 94401

DATE DESCRIPTION

1001/2021 PLANNING SUBMITTAL II
10/20/2022 PLANNING SUBMITTAL II
70/20/2022 HAPP FORMAL
PLANNING SUBMITTAL II
PLANNING SUBMITTAL II
PLANNING SUBMITTAL II

PRELIMINARY UTILITY PLAN

C5.01



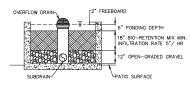
\*THE EFFECTIVE IMPERVIOUS SURFACE AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA AND 0.1 X THE TOTAL PERVIOUS AREA, EXCLUDING THE TREATMENT AREA.

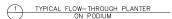
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

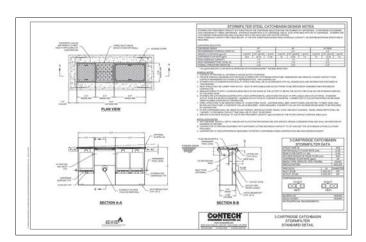
DESCRIPTION

PRELIMINARY STORMWATER CONTROL PLAN

C6.01







MEDIA FILTER

# CONSTRUCTION STORMWATER BMP NOTES

- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADDUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- 7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
   AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- 10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- 12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- 13. DUST CONTROL IS REQUIRED YEAR-ROUND.
- 14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

- SOURCE CONTROL NOTES

  1. STORM DRAIN: MARK ON-SITE INLETS WITH THE WORDS 'NO DUMPING! FLOWS TO BAY' OR EQUIVALENT.
- LANDSCAPING:
   RETAIN EXISTING VEGETATION AS PRACTICABLE.
- · SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE, INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
- MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
- . USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:
   PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
- CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- 4. FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:

  DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING, LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
- ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
- DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.



ARC TEC

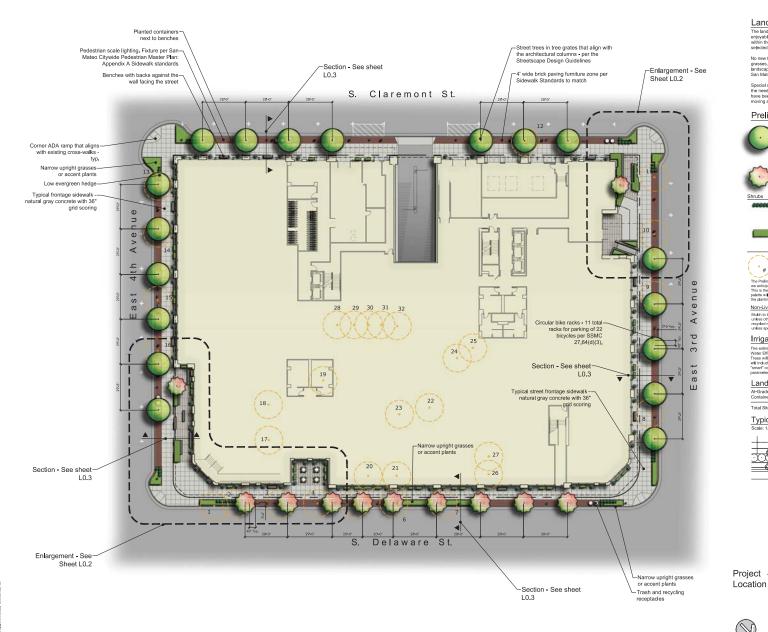


# VENTURE PLANNING APPLICATION FOR: WINDY HILL PROPERTY V BLOCK 21 SAN MATEO, CA 94401

DATE DESCRIPTION

PRELIMINARY STORMWATER CONTROL NOTES

C6.02



# Landscape Concept

The landscape design concept for the new mixed use building is to provide an enjoyable and aesthetic space for the employees, residents, and guests that fits within the landscape framework of the surrounding area. Plant material has been selected that performs well in the special conditions of San Mateo (Sunset Zone #17).

No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respects the needs of the office users as well as the guests. Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

# Preliminary Plant Palette





Crape Myrtle

Low Evergreen Hedge - 5 gal. @ 24"-30" O.

Buxus microphylla japonica 'Green Bei







The Prelimmary Plast Pulcete represents a sampling of the types of shrubs and groundcovers that we articipate to be appropriate for the location as well as the design sittle and overall theme. This is the jat from which plant selection. Use of care from the call papers laded with in this plant pulcet will be used in the first design and some plants not laded may be introduced. However, the planting design remain will ensure that the planting design and plant pulcets will be given and plant pulcets.

# Non-Living Groundcover

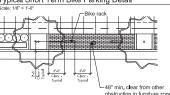
Mulch to be evenly distributed throughout all shrub and groundcover areas unless otherwise noted on plans. Mulch to be nitrogen stabilized, max, 344', recycled material installed at min, 3" depth, "Gonla-Hair' is not acceptable unless specifically noted for slope areas.

# Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance (WELD). The irrigation system will be subsurface drip line. These will be irrigated on separate circuits from the shrubs with deep not bubbles. The system will include in-line valves, quick couplers, and gate valves. The irrigation controler will be a "smart controller by Rainbort, Too, Hutter, or equal. A complete irrigation design with those

p			edestrian Areas
Landscape A	Areas	Pedestrian Area	s
At-Grade Planting	1,229 sf	Brick Paving	2,638
Containers	576 sf	Special Concrete Paving	2,739

# Typical Short Term Bike Parking Detail



obstruction in furniture zone (street lights, tree wells, parking meters, etc)



Preliminary

ARC TEC ARCHITECTURAL TECHNOLOGIES

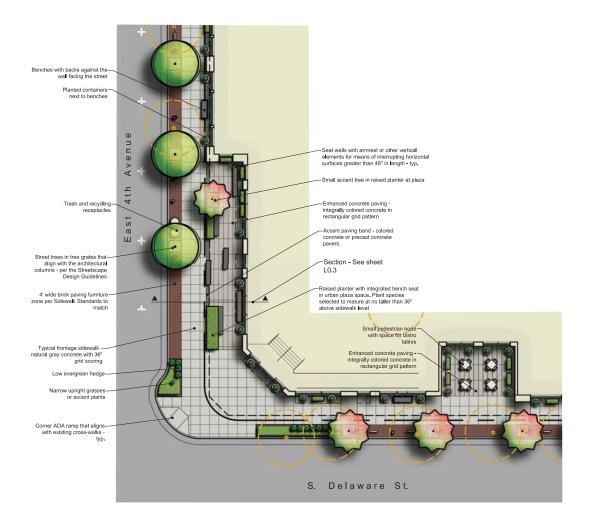
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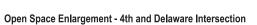


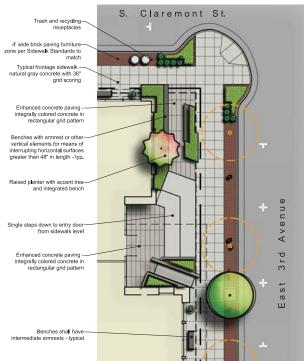
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION
PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL

Landscape Plan L<sub>0.1</sub>







Open Space Enlargement - 3rd and Claremont Intersection





PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION
PLANNING SUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL
PLANNING RESUBMITTAL

Landscape Plan -Elargements

L0.2

S. Delaware Street Frontage Section Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

S. Claremont Street Frontage Section Street Frontage per Design Guidelines Sidewalk Standards SCALE: 189 = 11.01

3rd Avenue Frontage Section Street Frontage per Design Guidelines Sidewalk Standards SCALE: 1/8" = 1'-0"

4th Avenue Frontage Section

Street Frontage per Design Guidelines Sidewalk Standards SCALE: 18"= 1'-0"

# **Concept Imagery**





Bike rack - Welle Circular Rack - WCR02-IG. Finish to be stainless steel.



Bench - per City of San Mateo Design Guidelines. Wabash Valley - Estate Series 72" with intermediate armrest. Color: Black powder coat







Tree grate - per City of San Mateo Design Guidelines Urban Accessories - OT - Title 24. Color: Powdercoat RAL 6004





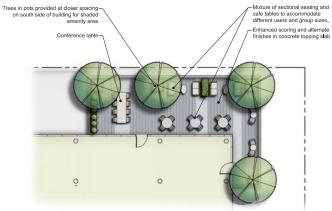
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

Preliminary Sections L0.3



Enlargement - See Left S. Delaware St. 4th Floor Key Map

S. Claremont St.



Commercial Roof Deck - 3rd and Claremont Intersection



Preliminary Landscape Plan L0.4 PROJECT NO: KLA - 21-2369

Commercial Roof Deck - 3rd and Delaware Intersection

-Enlargement - See

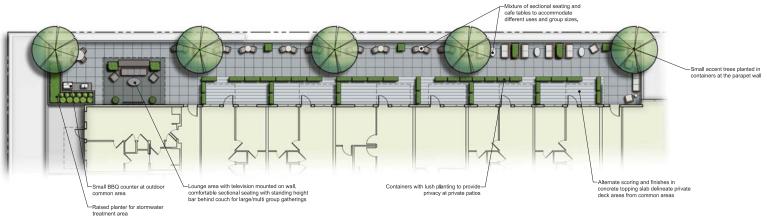
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California

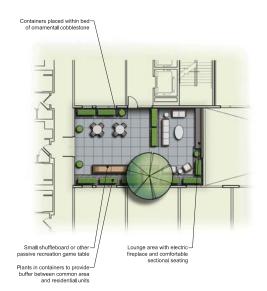


PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

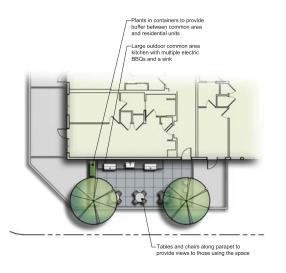
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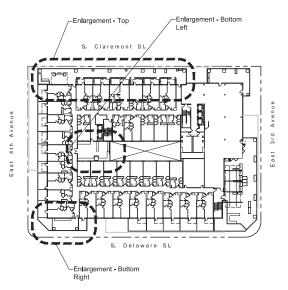


Residential Common Area - Claremont Street



Residential Common Area - Interior Courtyard





Residential Common Area - E 4th Ave and Delaware Intersection



Preliminary Landscape Plan

California



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

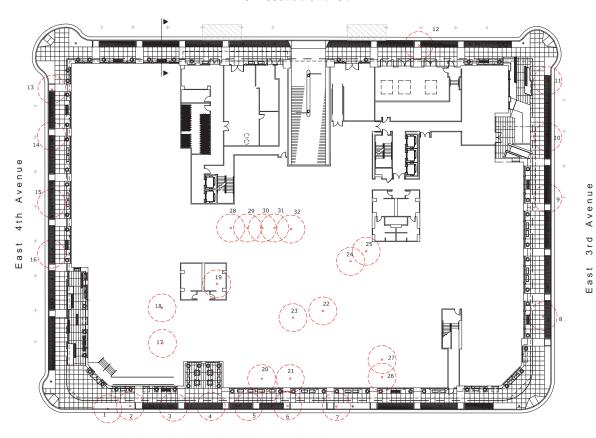
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L0.5 PROJECT NO: KLA - 21-2369

# **Existing Tree Disposition**



# S. Claremont St.



S. Delaware St.

# Tree Evaluation Schedule

	Species	DBH	CON	HT/S1	Comments
1P/R	Australian willow (Geljera parviflora)	18.3	20	30/20	Poor vigor, poor form, struck by vehicle in past, decay on trunk, more than 50% of cambium gone, included bark at 5°, Street tree.
2P/R	Australian willow (Geljera parviflora)	15.9	50	35/25	Fair vigor, poor form, codominant at 10 feet with included bark, street tree.
3P/R	Australian willow (Geljera parviflora)	19.4	50	30/25	Fair to poor vigor, fair form, codominant at 8 feet with fair union, street tree.
4P/R	Australian willow (Getjera parviflora)	27.2	40	35/30	Poor vigor, poor form, die back, multi leade at 6 feet with included bark, street tree.
5P/R	Australian willow (Geljera parviflora)	18.5	45	30/25	Fair vigor, thir form, areas of decay on trunk, street tree.
6P/R	Australian willow (Geljera parviflora)	21.3	30	35/30	Poor vigor, poor form, codominant at 5 feet with included bark, decay on trunk and codominant leaders.
7P/R	Australian willow (Geljera parviflora)	15.0	30	20/15	Poor vigor, poor form, topped in past, in decline, street tree.
SP/R	Hackberry (Celtis occidentalis)	10.7	45	30/20	Fair vigor, poor form, decay at root crown, girdled by tree grate, near overhead utilities topped in past, street tree
9P/R	Hackberry (Celtis occidentalis)	8.0	50	30/15	Fair vigor, fair form, topped in past, street tree.
10P/R	Hackberry (Celtis occidentalis)	9.2	40	25/20	Fair vigor, poor form, decay at root crown, girdled by tree grate, topped in past, street tree.
HP/R	Hackberry (Celtis occidentalis)	10.8	45	30/20	Fair vigor, poor form, girdled by tree grate, topped, street tree.
12R	Water gum (Tristaniopsis laurina	6.1	70	12/10	Good vigor, good form.
13P/R	Hackberry (Celtis occidentalis)	6.4	45	20/15	Good vigor, poor form, street tree, topped in past.
14P/R	Hackberry (Celtis occidentalis)	7.0	45	25/15	Fair to poor vigor, fair form, die back, stree tree.
15P/R	Hackberry (Celtis occidentalis)	9.6	40	25/15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree.
16P/R	Hackberry (Celtis occidentalis)	9.4	40	25/15	Fair vigor, poor form, girdled root crown, decay at root crown, street tree.
17R	Hollywood juniper (Amiperso chinemis)	7,3	50	15/10	Fair vigor, fair form, against building.
18R	Hollywood juniper (Antiperus chinensis)	8.5	50	15/10	Fair vigor, fair form, against building.
19P/R	American elm 12-12- (Ulmus americana)	15-10 30@b	50 ase	50/35	Fair vigor, poor form, multi leader at 2 feet with included bark.
20R	Australian cherry (Syzyghon australe)	4.0	30	8/3	Poor vigor, poor form, in decline.
21R	Australian cherry (Syzygium australe)	6,0	30	84	Poor vigor, poor form, in decline.
22R	Lemon (Carus sp.)	6.0	40	12/10	Poor vigor, poor form, in decline.
23R	Avocado (Persea americana)	6.0	50	12/10	Fair vigor, fair form.
24P/R	English walnut (Juglans regia)	16.5	30	30/20	Poor vigor, poor form, in decline.
25P/R	Plum 8-9-8- (Prunus sp.) 18@b		30	30/20	Poor vigor, poor form, in decline.
26P/R	Australian cherry 12-1 (Syzyghon australe) 2	5-8-8 8@bas	50 e	35/30	Good vigor, poor form, multi leader at grade, against small retaining wall.
27R	Big leaf maple (Acer macrophyllum)	7.8	30	15/15	Fair vigor, poor form, leans heavy, suppressed, against retaining wall.
28P/R	American elm (Ulmus americana)	18est	60	45/25	Fair vigor, fair form, codominant at 12 feet
29P/R		-15est		45/25	Fair vigor, fair form, codominant at 5 feet.
30P/R	American elm (Ulmus americana)	18est	60	45/25	Fair vigor, fair form, codominant at base.
31P/R	California pepper (Schimer molle)	18est	45	20/15	Fair vigor, poor form, heavily decayed trunk, suppressed.
32R	American elm	6est	45	25/15	Fair vigor, poor form, heavily suppressed.





PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 21
SAN MATEO, CA 94401

DESCRIPTION
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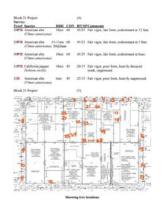


Existing Tree Disposition Plan LO.6a PROJECT NO: KLA - 21-2389

Site: Block 21 Project, San Mator CA Dear Ms. Ring.

y w - 20121, and again on windresday, segrement 22 - 20121, commont on the trees. A large development project in		Gejiru panglinai				at 6 fort with included back, atrest tree.
to the removal of all of the nervoyed trees. A LU term can be found within this report. The amous current size this report. No resighboring heritage trees will have	19:00	Autolia vilov Kiejere panifonsi	18.5	47	1025	Fair vigor, fair form, areas of decay on work, shoret true.
os equal to ten times the diameter of the tree trank.	(PAL	Aumalian willow (Gojima paraglima)	21.3	30	3530	Penervigor, poor form, codominum at 5 feet with included back, duray on truck and codominant leaders.
ground, the trees were not slimbed for this impossion. The plan A1 dated belonary 2014. The trees were thon bove ground level (DOII or diameter at breast beight). The of form and visitor. The trees condition rating is based on 50	TPIN	Annalias willow Kinjuru parriffungi	15.0	39	20/15	Pour vigor, poor firm, topped in past, in ducline, street tree.
using the following scale 20 Very Post 49 Past 60 Fair		Hackberry Sights occlumation	10.7	45	30:20	Fair vigor, poor form, docay at root crown, girdled by true grate, nase overhead ordinos, topped in past, street tree
89 Good 100 Exastlent using a Nikon Forestry 550 Dypometer. The spread was	SPSE .	Hackberry /Celts-sectionsols/		50	30/15	Fair vigor, fair form, topped in past, street tree.
alations for facure examinerator are provided.	нея	Hickberry (Celtis occidentalis)	12	40	2500	Fair vigor, poor form, decay at not crown, girdfol by tree grate, topped in past, above tree.
	1189	Hackberry (Callo occidentalis)	10.8	45	30/20	Fair vigor, poor form, girdfod by tree grate, topped, street tree.
	128	Water gum (Trinamispuis lawrous	6.5	78	12:10	Good vigor, good farm.
	110	Hickberry (Celtis rectilements)	0.4	41	20/15	Good vigor, poor firm, street tree, topped in past.

Hlock: Survey	21 Project			(9)	
	Species	nesi	con	****	Common
LANGE.	Flackberry .	10	41	25/15	Fair to poor vigoe, fair form, die back, stree
	/Celor recoherenter				tres.
15PIN	Hackberry (Celtis receidentalis)	7.6	40	25/15	Fair vigor, poor form, girdhed root covers, decay at root crown, street tree.
неж	Hackberry (Celts occidentals)	9,4	40	25/15	Fair vigor, poor form, girdled root crown, doney at root crown, street tree.
178	Hollyword juniper (Insperse chinesoly)	tJ	.50	15/18	Fair vigor, fair form, against building.
188	Skellywood juniper (Amperex shirement)	8.5	30	15/10	Fair vigor, fair form, against building.
nem	American etn 12-12- (f.Tener americano)	25-19 30@b	50	30/35	Fair vigor, poor fires, multi leader at 2 feet with included bask.
208	Australian charry Oppgeten auctralia	4.0	30	83	Prox vigor, poor form, in decline.
218	Aumalian cherry Oppygion ausmaly	6.0	39	84	Pour vigor, poor form, to decline.
228	Lenon (Ciruc sp.)	4.0	40	12/10	Poor vigor, poor form, in decline.
23B	Averado (Perres americano)	6.6	90	12/10	Fair vigor, fair form.
24 <b>P</b> 18	English walnut (Aglien regis)	16.5	30	30/29	Poor vigor, poor firm, in decline.
zipja	Plan SAA (Pramirigs) 18(b)	7-10	30	36/29	Post vigor, poor form, in decline.
31PN	Australian cherry 12-1 (flygygion australo) 2			15/50	Good vigor, poor form, multi leader at grade, against small retaining wall.
27R	Stig heaf maple (Accer macrophyllum)	7.8	30	13/13	Fair vigor, poor from least beavy, suppressed, against retaining wall.



-	Spanise States	7	Special I	Color 15	Value 1	***	Em. Dated	City and	1364	100.0
<b>#</b>	Andrew William	Service	100	106	100	100	18.3	186	136	44
al.	Autoria: William	Removed	50%	10%	60%	100	10.7	5.60	1.00	10
#1	Autorial William	Named	301	10%	MAN.	1680	166	1.00	1.05	44
24	Australia William	Named	58%	476	1996	Tant.	193	180	136	1.7
10	NUMBER OF STREET	bonaid	300	10%	10%	惊险	18.5	120	1.8	7.6
~	Andrew William	Section 2		- 65		100	THE R	100	120	-07
m-	Autoria William	-		10%	100		1100	136	1.01	-27-
86				400					10	
*	Saltery		- 96	976		125	100			1.8
100	Partitions	Bernard	MA	4%	10%	172	11	136	535	-83
80	Kalisen	Remodel	165	26	100	ran:	11.2	1.86	136	1.7
'40'	Bongs.	Returned	474	- 104	100		4.1	1.86	120	711-
90	Notices National					8.65	54		5.85	-11
811		Special	396	875	99	1001	- 11	1.9	136	13
805	Indiany	Sproviti	10%	47%	344	11.84	14.	1.00	1,80	43
	Saddens			-			-64	100	126	45
201	NAME OF STREET	Bernad	195	10%	18	tie:	- 11	76	180	TH
'n٠	Parlyment proper	190001		190	185		-10	76	1.00	95
101			- 94	106	10%		8.0	- 24	1.00	111
WIT T	<b>Bullidal Deny Solle</b>	10				118				
WC.	Authority charge	Served	-W-	- 24	100	m	-11	-	140	- 65
31		T Second	676	60%	106		13			137
201	Becale		504	UK.	10%	High	1.0	Al	1.84	13
900	1447 6947	Sphiad	191	99	100	HQ:	161	136	-00	711
805	Ren	Renowl	10%	106	36%	LER.	164	140	626	4.6
40.	Autrolac Chang	Belondel	20%	10%	- UK	100	263	186	1.79	71
-	Regional response	No record	14	88	18.		7.8		1.00	14
201	American dis-	Berned	30%	674	576	186	HE	136	106	
W(F)	Boarson dis.	Total	30%	974	684		222	136	138	
a in	American elec-	Between	585	676	506	146	964	1.00	1.84	16.7
	Collection property	Nominal	305	44	\$17%	TER	91	1,64	1.70	14

Shawing LU values, street trees (#1-11, &13-16) not to be included in replanting
Total value of LU not including street trees=86.3



dian willow 19.4 50 3025 Fair to poor vigor, fair firms, coder to pureffora; 6 fort with fair union, street tree.







mental and meet	consent only date or and continue
rall. Removing the retaining wall o	ition. The tree is poorly located up against a neufl retaining ney have high impacts on the tree's stability within the withinst is recommended. The tree's force is poor as the tree

80 10 - 83 4

Block 21 Project

Sincerely, Kevin Kietly Carolled Advanse WEMMTRA Review Roadly.

Kielty Arborist Services FO. Box 6197 Sam Mano. CA 94493 450-513-0783

Afterior Kerne Keelty.
Kerna R. Keelty

equired Tree Pla ing Colo, Section 27.7 in that are a section.		property by hose as n of theory's this, total	manufacture of 1 to 100	per MIII repaire fact of temporary cross. Senting
despetate_188	36 N + 800 +		10 (4)	
ritur of exciting trees to the 6 rich or greater dis	non-Year Evaluation Schools province to be presented:	-	- 14	
disagn (mt (ist) rake n the Tree Institution (	of trace in the remaind street, for		12 45	
must 15 value to be a righ payment of to be	others (a-drawn d)		100	See Separate Respired Free Planting Form to Street Free:
d. If the CU value throw	er at jarjis ned equal or grea e City's Comprehensive her	for thee (d), then a Schedule for each	in the feet the part for part	ms." he paid to the city's street tree planting of to the City's street tree planting fund at the
	New Years Builty		-	
Secretar	Store	12 Yorke	Tribat LE Yellow	

Swetty	Site	12 Yefre	Translation and the same of th
	11 paties		-
	jit inch lave	-	
	36 inch box	- 1	
-	All track from	-	
	Total III Value of new	Trees being proposed	2 04



ARC TEC

ARCHITECTURAL TECHNOLOGIES

www.arctecinc.com

Arizona

2950 East Northern American

California 31 Technology Drive, Suite 750 Jose, CA 95113 408.496.1121

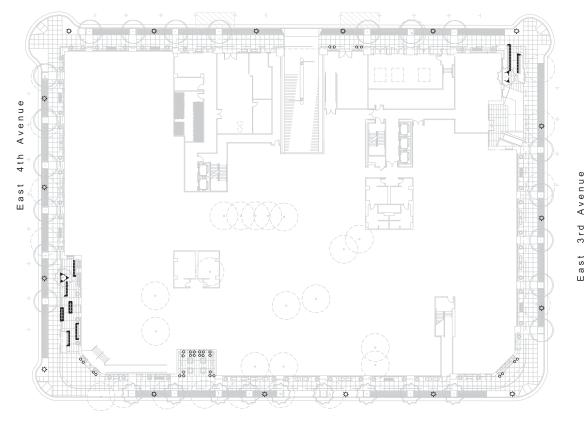


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Arborist's Report L0.6b PROJECT NO: KLA - 21-2369

# S. Claremont St.



S. Delaware St.

Landscape Lighting Legend

The light fatures and locations as shown on this plan are to provide the overall intent of the landscape lighting design concepts and not intended to be the final loyout. Fature selections may change and locations may be adjusted as we move through the design process and coordinate with the design feam. The overall intent will remain per this plan.

# Symbol Type

LED lights under wall caps so the wall caps appear to float. Final selection of fixtures per the Electrical Engineer





LED landscape accent uplights at accent trees. FX Luminaire NP fixture





LED in-grade accent up light at focal pots. FX Luminaire VO fixture





City Standard Pedestrian Scale pole light per A.4I of the Pedestrian Master Plan Design Guidelines.





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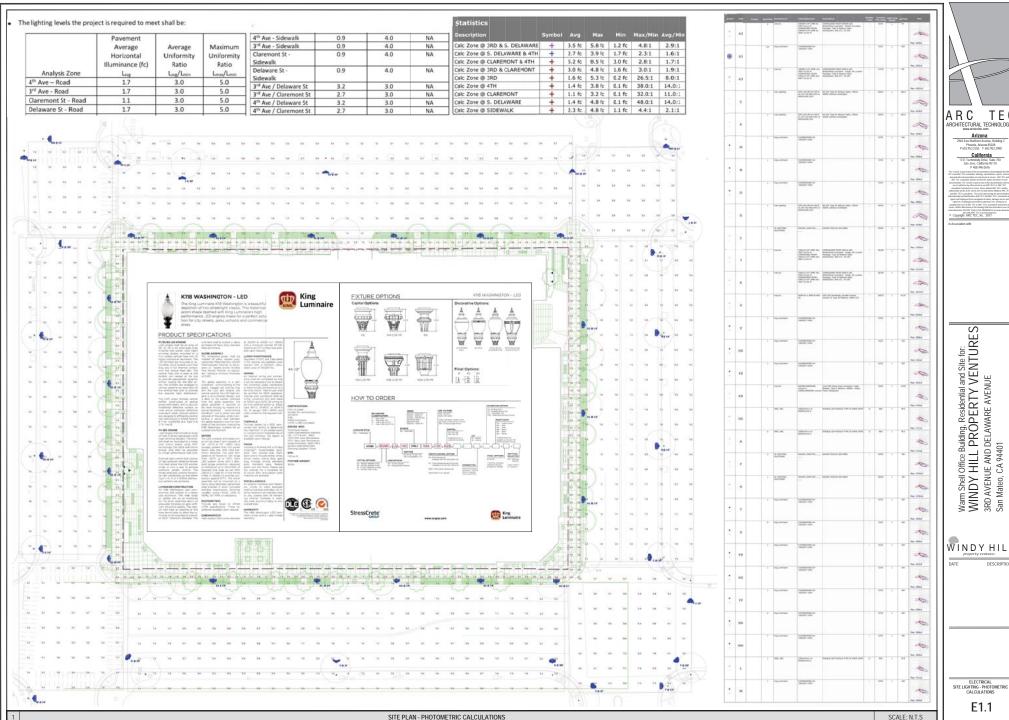


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Landscape Lighting Plan L0.7





WINDY HILL